

MINOR SITE PLAN FOR WOODY'S OCEAN GRILLE

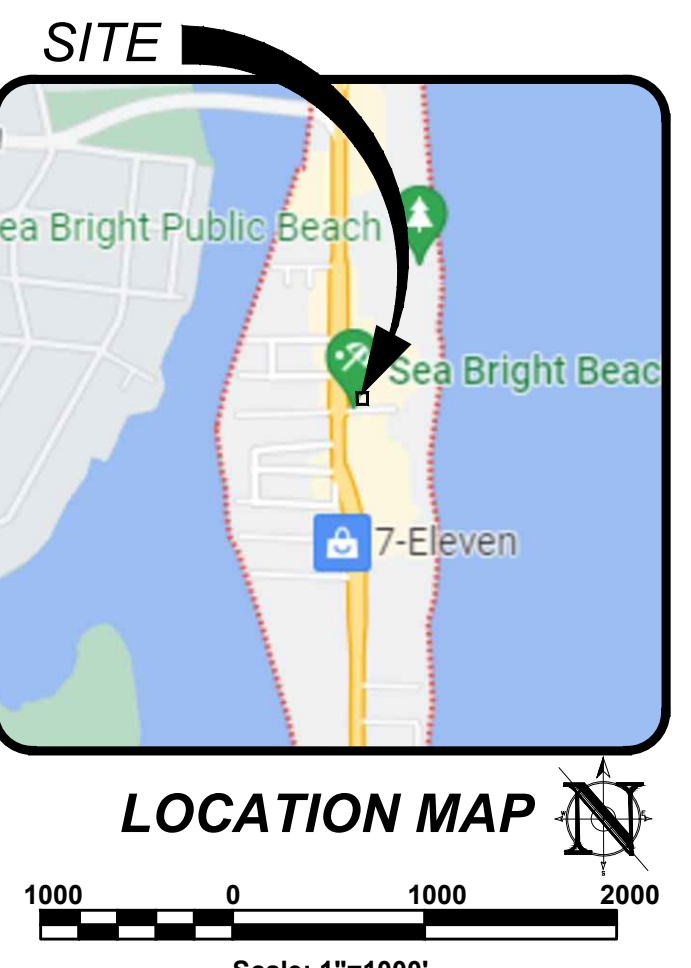
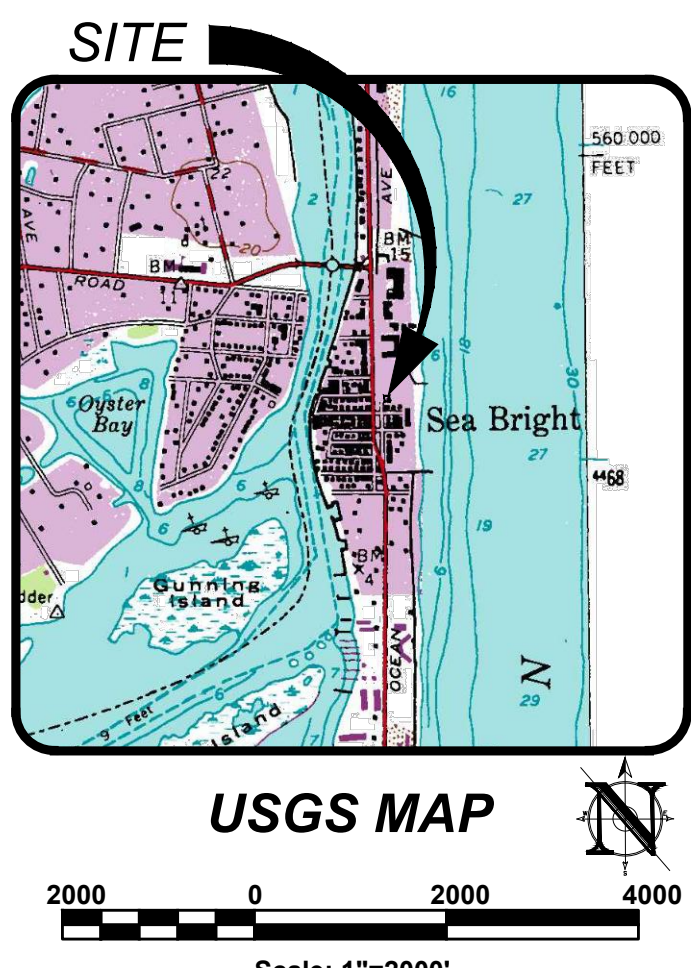
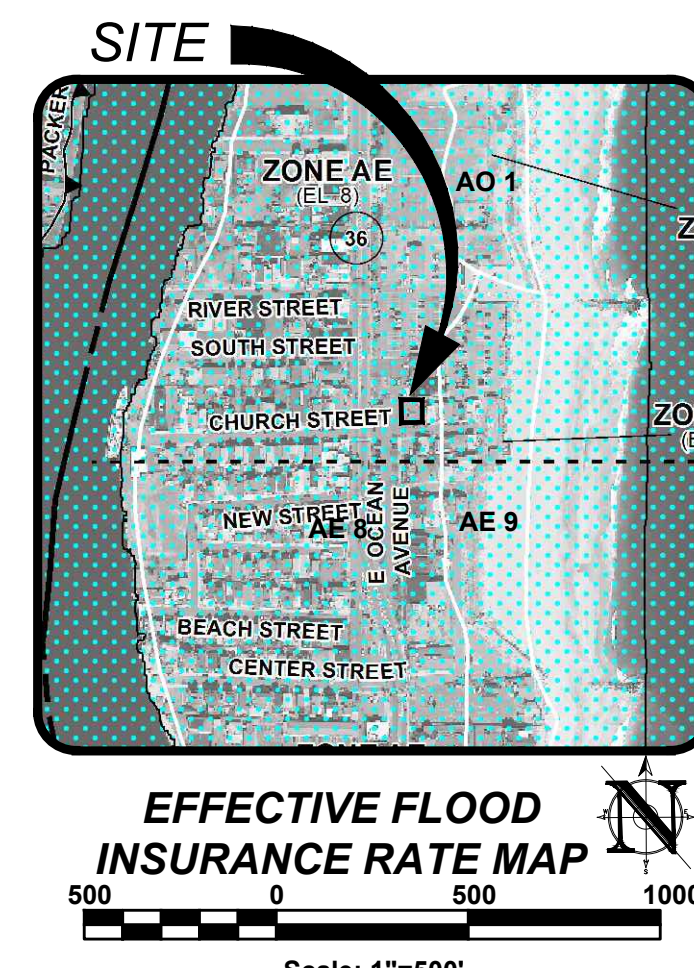
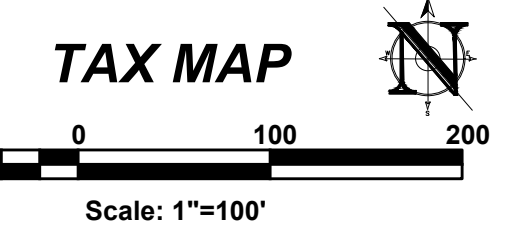
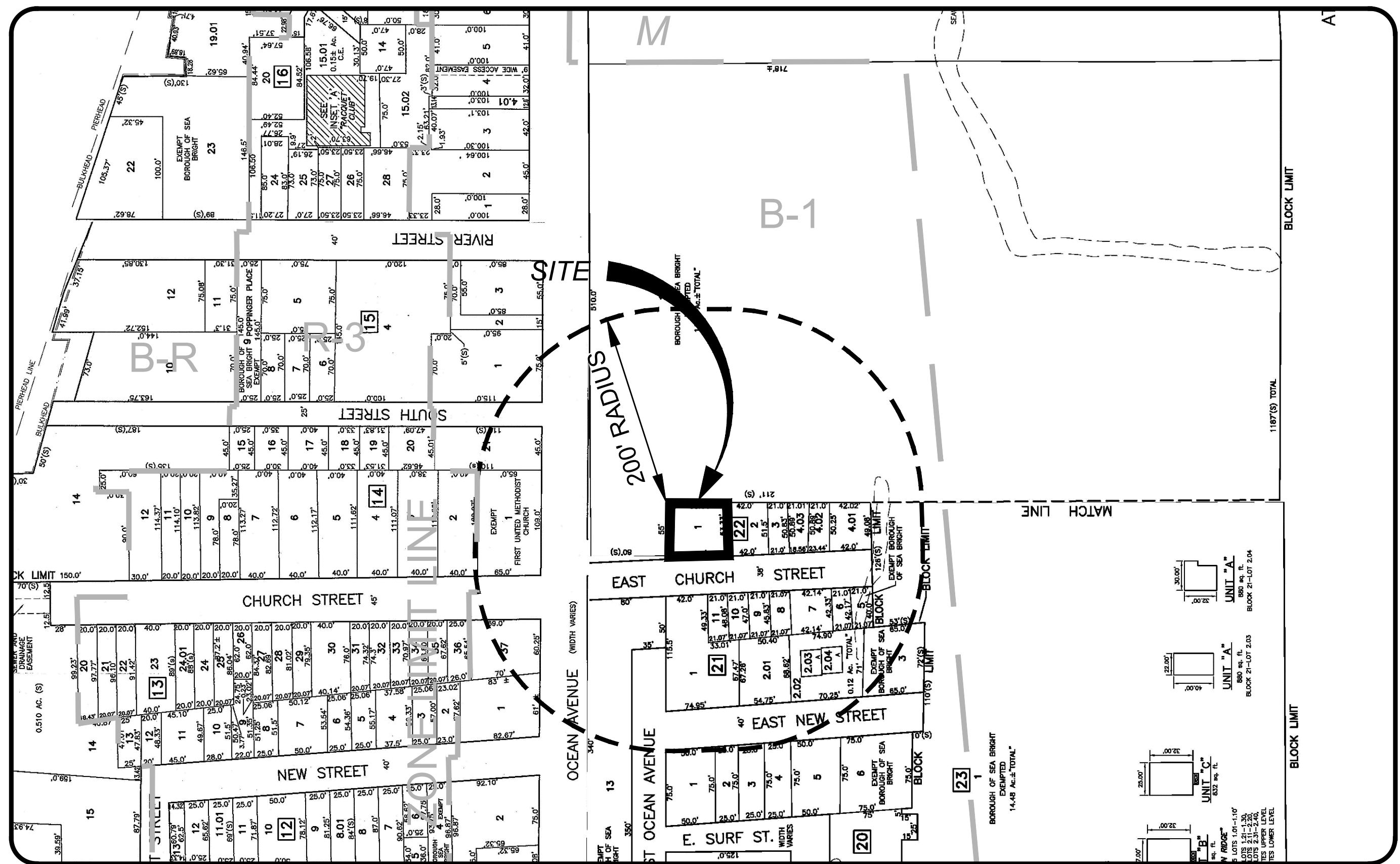
BLOCK 22, LOT 1 TAX MAP SHEET #9 1 EAST CHURCH STREET BOROUGH OF SEA BRIGHT, MONMOUTH COUNTY, NEW JERSEY

PROPERTY OWNERS WITHIN 200'

BLOCK	LOT	QUAL.	C/A	PROPERTY OWNER	PROPERTY LOCATION	Add'l Lots
13	1		4A	Current Owner 1110 OCEAN AVENUE SEA BRIGHT, NJ	1110 OCEAN AVENUE	
13	37		4A	Current Owner 25 WEST 20TH SEA BRIGHT, NJ	1106 OCEAN AVENUE	
14	1		15D	Current Owner 1104 OCEAN AVENUE SEA BRIGHT, NJ	1104 OCEAN AVENUE	
14	1	X	4A	Current Owner 1101 OCEAN AVENUE SEA BRIGHT, NJ	1101 OCEAN AVENUE	
14	21		4A	Current Owner 1099 OCEAN AVENUE UNIT 1 SEA BRIGHT, NJ	1099 OCEAN AVENUE	
15	1		4A	Current Owner 3 MASA VISTA DRIVE MONMOUTH BEACH, NJ	1092 OCEAN AVENUE	
20	1		4C	Current Owner 201 MAIN STREET ALEXANDRIA, NJ	1125 OCEAN AVENUE	
20	2		2	Current Owner 8 EAST NEW STREET SEA BRIGHT, NJ	8 EAST NEW STREET	
20	3		2	Current Owner 1026 COUNTRY GREEN BLVD BOYTON BEACH, FL	10 EAST NEW STREET	
20	4		2	Current Owner 2 EAST NEW STREET SEA BRIGHT, NJ	2 EAST NEW STREET	
20	5		15F	Current Owner 14 EAST NEW STREET UNIT A SEA BRIGHT, NJ	14 EAST NEW STREET	
21	1		4A	Current Owner 514 N HICKORY STREET CHARLOTTE, NC	1117 OCEAN AVENUE	
21	2.01		2	Current Owner 5 EAST NEW STREET SEA BRIGHT, NJ	5 EAST NEW STREET	
21	2.02		15F	Current Owner 200 AS PART OF COMMON ELEMENTS	1 EAST NEW STREET	
21	2.03		2	Current Owner 3 EAST NEW STREET SEA BRIGHT, NJ	3 EAST NEW STREET	
21	2.04		2	Current Owner 3240 BIRCHWOOD DRIVE BOCA RATON, FL	1 EAST NEW STREET	
21	3		15C	Current Owner 1099 OCEAN AVENUE SEA BRIGHT, NJ	19 EAST NEW STREET	
21	6		2	Current Owner 3 EAST CHURCH STREET SEA BRIGHT, NJ	3 EAST CHURCH STREET	5
21	7		2	Current Owner 95 WATERMAN AVENUE RANDOLPH, NJ	2 EAST CHURCH STREET	
21	8		2	Current Owner 4 EAST CHURCH STREET SEA BRIGHT, NJ	4 EAST CHURCH STREET	
21	9		4A	Current Owner 1 EAST CHURCH STREET SEA BRIGHT, NJ	6 EAST CHURCH STREET	
21	10		2	Current Owner 8 EAST CHURCH STREET SEA BRIGHT, NJ	8 EAST CHURCH STREET	
21	11		2	Current Owner 10 EAST CHURCH STREET SEA BRIGHT, NJ	10 EAST CHURCH STREET	
21	13		15C	Current Owner 1099 OCEAN AVENUE SEA BRIGHT, NJ	EAST OCEAN AVENUE	
22	2		2	Current Owner 20 ROUTE 183 NETCONG, NJ	9 EAST CHURCH STREET	
22	3		2	Current Owner 1502 WEST FRONT STREET LINDEN, NJ	7 EAST CHURCH STREET	
22	4.01		2	Current Owner 32 S CAROL'S COURT ACKERMAN, NJ	15 EAST CHURCH STREET	4.02
22	4.03		4A	Current Owner 65 AVENUE OF TWO RIVERS SEA BRIGHT, NJ	11 EAST CHURCH STREET	
22	1		15C	Current Owner 1099 OCEAN AVENUE SEA BRIGHT, NJ	1099 OCEAN AVENUE	

UTILITY CONTACTS

Borough of Sea Bright 1099 Ocean Avenue Sea Bright, NJ 07760	State of New Jersey (for State Hwy 36) Commissioner, Department of Transportation 1035 Parkway Avenue P.O. Box 600 Trenton, NJ 08625
Comcast Center 1701 John F. Kennedy Blvd. Philadelphia, PA 19103	State of New Jersey (for Coastal Waters) Division of Coastal Sciences P.O. Box 401 Trenton, NJ 08625
New Jersey American Water Company 661 Shrewsbury Avenue Shrewsbury, NJ 07702	Two Rivers Water Reclamation Authority 1 Highland Avenue Monmouth Beach, NJ 07750
New Jersey Natural Gas Company 1415 Wycoff Road Wall, NJ 07719	Verizon 175 W. Main St. Freehold, NJ 07728 Attn: Corporate Secretary/Right of Way Agent
Jersey Central Power & Light Area Manager Central New Jersey 1500 Florence Avenue Union Beach, NJ 07735	Monmouth County Planning Board Hall of Records Annex - 2nd Floor 1 East Main Street Freehold, NJ 07728



GENERAL NOTES

- SUBJECT PROPERTY**
TAX MAP #9; BLOCK 22, LOT 1, BOROUGH OF SEA BRIGHT, MONMOUTH COUNTY, NEW JERSEY
CENTER SITE COORDINATES 638,798 N 557,075 E.
- PURPOSE OF THIS PLAN SET**
THIS PLAN SET HAS BEEN PREPARED FOR THE PURPOSE OF MINOR SITE PLAN MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THE PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL FINAL APPROVALS HAVE BEEN OBTAINED AND ALL THE CONDITIONS OF THE APPROVALS HAVE BEEN SATISFIED.
- SURVEY BOUNDARY DATA**
SURVEY INFORMATION CONTAINED HEREON IS BASED ON A FIELD SURVEY PERFORMED BY COLLIER'S ENGINEERING & DESIGN, ENTITLED "MINOR SUBDIVISION, FOR BOROUGH OF SEA BRIGHT, BLOCK 22 LOT 1 & BLOCK 23 LOT 1, BOROUGH OF SEA BRIGHT, MONMOUTH COUNTY, NEW JERSEY," BEING DATED 08/31/23.
HORIZONTAL DATUM: NAD83
- TOPOGRAPHIC DATA**
TOPOGRAPHIC INFORMATION CONTAINED HEREON IS BASED ON A FIELD SURVEY PERFORMED BY INSITE ENGINEERING LLC, ENTITLED "TOPOGRAPHIC AND UTILITY SURVEY OF BLOCK 22, LOT 1, 1 EAST CHURCH STREET," BEING DATED 05/25/22, LAST REVISED 08/25/23.
HORIZONTAL DATUM: NAD83 VERTICAL DATUM: NAVD88
- BASE FLOOD ELEVATION**
ACCORDING TO FEMA'S EFFECTIVE FIRM ENTITLED "FIRM - FLOOD INSURANCE RATE MAP (FIRM), MONMOUTH COUNTY, NEW JERSEY (ALL JURISDICTIONS)," COMMUNITY PANEL #40250201H, DATED 6/15/2022 THE SITE IS LOCATED IN ZONE AE, WITH A BASE FLOOD ELEVATION OF 8. FEMA MAPS REFERENCE THE NAVD88 VERTICAL DATUM.
- ARCHITECTURAL INFORMATION**
ARCHITECTURAL INFORMATION CONTAINED HEREON IS BASED ON PLANS PREPARED BY LINO PICNIC ARCHITECT, ENTITLED "EXTERIOR PERGOLA, 1 EAST CHURCH STREET, SEA BRIGHT, NJ 07760, WOODY OCEAN GRILLE," BEING DATED 11/14/22.
- UNDERGROUND UTILITIES NOTIFICATION**
FOR ANY EXCAVATION IN NEW JERSEY, THE CONTRACTOR MUST CALL NEW JERSEY ONE CALL SERVICE AT 1-800-272-1000 FOR A MARKOUT REQUEST NO LESS THAN THREE (3) WORKING DAYS PRIOR TO STARTING ANY EXCAVATION.
- VERIFICATION OF UTILITIES**
THE CONTRACTOR IS DIRECTED TO THE FACT THAT THE APPROXIMATE LOCATIONS OF KNOWN UTILITY STRUCTURES AND FACILITIES (INCLUDING BUT NOT LIMITED TO SANITARY SEWERS, STORM SEWERS, POTABLE WATER LINES AND APPURTENANCES, NATURAL GAS LINES, ELECTRIC, TELEPHONE AND CABLE LINES AND UNDERGROUND STORAGE TANKS) THAT MAY BE ENCOUNTERED WITHIN AND ADJACENT TO THE LIMITS OF THE WORK ARE SHOWN ON THE PLANS. THE ACCURACY AND COMPLETENESS OF THIS INFORMATION IS NOT GUARANTEED BY THE ENGINEER, AND THE CONTRACTOR IS ADVISED TO VERIFY IN THE FIELD ALL THE FACTS CONCERNING THE LOCATION AND ELEVATION OF THESE UTILITIES OR OTHER CONSTRUCTION OBSTACLES IMPACTED BY NEW CONSTRUCTION PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER, IN WRITING, PRIOR TO CONSTRUCTION, OF ANY DISCREPANCIES WHICH MAY AFFECT THE PROJECT DESIGN.
- SPECIFICATIONS**
UNLESS OTHERWISE NOTED HEREON, ALL SITE WORK SHALL BE CARRIED OUT IN CONFORMANCE WITH THE PROVISIONS OF THE "NEW JERSEY DEPARTMENT OF TRANSPORTATION (NJDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION.
- CONSTRUCTION REQUIREMENTS**
 - ALL CONSTRUCTION AND DEMOLITION SHALL CONFORM WITH ANY APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS. CONTRACTOR HAS SOLE RESPONSIBILITY FOR SITE SAFETY WAYS, MEANS AND METHODS OF CONSTRUCTION, AND SHALL CONFORM TO AND ABIDE BY ALL CURRENT OSHA STANDARDS OR REGULATIONS. SAFE CONSTRUCTION PRACTICES REMAIN THE OBLIGATION OF THE CONTRACTOR. THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE FEDERAL, STATE AND LOCAL PERMITS PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR SHALL PERFORM ALL WORK IN A FINISHED AND WORKMANLIKE MANNER TO THE ENTIRE SATISFACTION OF THE OWNER AND IN ACCORDANCE WITH THE BEST RECOGNIZED TRADE PRACTICES.
 - THE CONTRACTOR SHALL PROVIDE NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS, AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY WITHIN THE PROJECT FOR THE PROTECTION AND THE SAFETY OF THE PUBLIC AND MAINTAIN THROUGHOUT CONSTRUCTION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE CLEANUP WITHIN THE CONSTRUCTION AREA AND SHALL DISPOSE OF DEBRIS IN ACCORDANCE WITH ANY LOCAL, STATE OR FEDERAL REGULATIONS.
 - ANY DAMAGE TO PUBLIC STREETS, CURBS, SIDEWALKS AND UTILITIES AS A RESULT OF SITE CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE CONTRACTOR.
- CONSTRUCTION PERMITS/INSPECTIONS**
CONTRACTOR RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS INCLUDING ROAD OPENING PERMITS, PREPARATION OF TRAFFIC CONTROL PLANS, INSTALLATION AND MAINTENANCE OF TRAFFIC CONTROL AND COORDINATION OF ALL INSPECTIONS REQUIRED BY THE BOROUGH OF SEA BRIGHT, COUNTY OF MONMOUTH, NEW JERSEY AMERICAN WATER, TWO RIVER RECLAMATION AUTHORITY, AND ANY OTHER APPLICABLE AGENCY HAVING JURISDICTION OVER THE PROJECT.
- ADA COMPLIANCE**
 - ALL PROPOSED SITE IMPROVEMENTS LOCATED ON THE PRIVATE PROPERTY SHALL BE IN COMPLIANCE WITH THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN, STANDARDS FOR PUBLIC ACCOMMODATIONS AND COMMERCIAL FACILITIES, TITLE III.
 - ALL PROPOSED SITE IMPROVEMENTS LOCATED WITHIN PUBLIC RIGHT-OF-WAY SHALL BE IN COMPLIANCE WITH THE CURRENT PUBLIC RIGHTS-OF-WAY ACCESS ADVISORY COMMITTEE GUIDELINES.
- OVERALL CONSTRUCTION DOCUMENTS**
THIS PLAN SET CONSISTS OF MULTIPLE SHEETS. INDIVIDUAL PAGES SHALL NOT BE UTILIZED FOR CONSTRUCTION ON THEIR OWN AS NOTES AND INFORMATION PROVIDED ON OTHER SHEETS MAY IMPACT WORK REQUIREMENTS. CONTRACTOR SHALL REVIEW AND UTILIZE ENTIRE PLAN SET FOR CONSTRUCTION.
- MINOR SITE PLAN**
CONCURRENT WITH THIS MINOR SITE PLAN APPLICATION, THE APPLICANT IS SEEKING MINOR SUBDIVISION APPROVAL TO ACQUIRE APPROXIMATELY 576 SF FROM ADJACENT BLOCK 23, LOT 1. THE MINOR SUBDIVISION PLAN IS AN INDEPENDENT PLAN SET PREPARED BY COLLIER'S ENGINEERING AND DESIGN ENTITLED "MINOR SUBDIVISION FOR BOROUGH OF SEA BRIGHT, BLOCK 22, LOT 1 & BLOCK 23, LOT 1, BOROUGH OF SEA BRIGHT, MONMOUTH COUNTY, NEW JERSEY," DATED 08/31/23 WITH NO REVISIONS NOTED, TOTALING TWO (2) SHEETS.

ZONE
B-1 CENTRAL BUSINESS - PQ
B-R BUSINESS RESIDENTIAL
M BOROUGH OF SEA BRIGHT

PLANNING BOARD APPROVAL	
APPROVED BY THE BOROUGH OF SEA BRIGHT PLANNING BOARD	
SCALE: AS SHOWN	DESIGNED BY: JMW
DATE: 09/08/23	DRAWN BY: JMW
JOB #: 22-1527-02	CHECKED BY: DDC/JLF
CAD ID: 22-1527-02r0	
<input checked="" type="checkbox"/> NOT FOR CONSTRUCTION	
APPROVED BY:	
<input type="checkbox"/> FOR CONSTRUCTION	
PLAN INFORMATION	
BOARD CHAIRPERSON	DATE
BOARD SECRETARY	DATE
BOARD ENGINEER	DATE

SHEET #	INDEX OF SHEETS	SHEET TITLE	INITIAL RELEASE	REV. DATE
C100	TITLE SHEET		09/08/23	
C200	EXISTING CONDITIONS & SITE PREPARATION PLAN		09/08/23	
C300	SITE LAYOUT PLAN		09/08/23	
C400	GRADING & DRAINAGE PLAN		09/08/23	
C501	LIGHTING PLAN		09/08/23	
C600	CONSTRUCTION DETAILS		09/08/23	

PROJECT INFORMATION

PROJECT NAME: **WOODY'S OCEAN GRILLE**

PROJECT LOCATION: BLOCK 22, LOT 1
1 EAST CHURCH STREET
BOROUGH OF SEA BRIGHT,
MONMOUTH COUNTY, NJ

OWNER: **WOODY'S OCEAN PROPERTIES LLC**
1 EAST CHURCH STREET
SEA BRIGHT, NJ 07760

APPLICANT: **WOODY'S OCEAN PROPERTIES LLC**
1 EAST CHURCH STREET
SEA BRIGHT, NJ 07760

APPLICANT'S PROFESSIONALS

ATTORNEY:
JENNIFER S. KRIMKO, ESQ
ANSELL GRIMM & AARON, PC
1500 LAWRENCE AVENUE-ON 7807
OCEAN, NJ 07712

SURVEYOR (BOUNDARY):
COLLIERS ENGINEERING AND DESIGN
101 CRAWFORDS CORNER ROAD
SUITE 3400
HOLMDEL, NJ 07733

SURVEYOR (TOPOGRAPHY):
INSITE ENGINEERING
1995 ROUTE 34
SUITE 1A
WALL, NJ 07719

ARCHITECT:
LINO PICNIC ARCHITECT
123 GROVE STREET
TEANAFLY, NJ 07670

INSITE ENGINEERING LLC
SINCE 2003

CALL BEFORE YOU DIG!
NJ ONE CALL 800-272-1000
(at least 3 days prior to excavation)

UTILITY	COLOR	DEPTH
ELECTRIC	RED	8" - 16"
GAS OIL	YELLOW	8" - 16"
COMMUNICATION	ORANGE	8" - 16"
WATER	BLUE	8" - 16"
SEWER	GREEN	8" - 16"
TEMP SURVEY MARKINGS	MAGENTA	8" - 16"
PROPOSED EXCAVATION	WHITE	8" - 16"

INSITE
Engineering • Surveying • Planning

INSITE Engineering, LLC
CERTIFICATE OF AUTHORIZATION: 24A28083200
1995 ROUTE 34, SUITE 1A, WALL, NJ 07719
732-531-7100 (Ph) 732-531-7344 (Fax)
InSite@InSiteEng.net www.InSiteEng.net

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA,
DELAWARE, CONNECTICUT, NORTH CAROLINA,
COLORADO, & DISTRICT OF COLUMBIA

Douglas D. Clelland
DOUGLAS D. CLELLAND, PE
PROFESSIONAL ENGINEER
NJ PE 24G05331000

REVISIONS

Rev. #	Date	Comment
0	09/08/23	INITIAL RELEASE

MINOR SITE PLAN

TITLE SHEET

SHEET NO: **C100**

SITE PREPARATION NOTES

- PRIOR TO STARTING ANY DEMOLITION CONTRACTOR IS RESPONSIBLE FOR:
 - ENSURE COPIES OF ALL PERMITS AND APPROVALS ARE ON SITE FOR REVIEW.
 - THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO SITE DISTURBANCE.
 - ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE, SHALL BE VERTICALLY AND HORIZONTALLY LOCATED. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL UNDERGROUND UTILITIES.
 - PROTECT AND MAINTAIN IN OPERATION, ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
 - FAMILIARIZE THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENT AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AS IDENTIFIED OR REQUIRED FOR PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
 - COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES.
 - A COMPLETE INSPECTION FOR CONTAMINANTS, BY A LICENSED ENVIRONMENTAL TESTING AGENCY, OF ALL BUILDINGS AND/OR STRUCTURES TO BE REMOVED SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL ENVIRONMENTAL REGULATIONS. ALL CONTAMINANTS SHALL BE REMOVED AND DISPOSED OF BY A FEDERALLY LICENSED CONTRACTOR IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS. ALL ENVIRONMENTAL WORK INCLUDING HAZARDOUS MATERIAL, SOILS, ASBESTOS, OR OTHER REFERENCED OR IMPLIED HEREIN IS SOLELY THE RESPONSIBILITY OF THE OWNER'S ENVIRONMENTAL CONSULTANT.
 - THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISIONS. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS, TO INSURE PUBLIC AND CONTRACTOR SAFETY.
 - THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE.
- IN ABSENCE OF SPECIFIC SPECIFICATION, THE CONTRACTOR SHALL PERFORM EARTH MOVEMENT ACTIVITIES, DEMOLITION AND REMOVAL OF ALL FOUNDATION WALLS, FOOTINGS, AND OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE IN ACCORDANCE WITH DIRECTION BY OWNER'S GEOTECHNICAL ENGINEER.
- DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROPERTY LINES, WITHOUT WRITTEN PERMISSION OF THE OWNER, AND/OR APPROPRIATE GOVERNMENT AGENCY.
- USE DUST CONTROL MEASURES TO LIMIT THE AMOUNT OF AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR TO WITHIN FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.
- CONTRACTOR IS RESPONSIBLE TO SAFEGUARD SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
- THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL METHODS AND MEANS ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
- ALL UTILITY CONNECTIONS TO ADJACENT BUILDINGS MUST STAY ACTIVE DURING CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE TO ENSURE SHUT OFF, DISCONNECT, AND/OR CAPPING OF ALL UTILITIES TO THE SITE INCLUDING, BUT NOT LIMITED TO, WATER, SEWER, ELECTRIC, CABLE, TELEPHONE, ETC. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL UTILITY SHUT OFFS AND LETTERS, OBTAINING ALL PERMITS TO COMPLETE ALL PHASES OF THE PROJECT.
- ANY EXISTING LIGHTING AND UTILITY POLE REMOVALS ARE TO BE PERFORMED BY THE APPROPRIATE UTILITY COMPANY.
- DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OFFSITE IN ACCORDANCE WITH ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES, ORDINANCES, AND LAWS.

PROJECT INFORMATION

PROJECT NAME: **WOODY'S OCEAN GRILLE**

PROJECT LOCATION: BLOCK 22, LOT 1
1 EAST CHURCH STREET
BOROUGH OF SEA BRIGHT,
MONMOUTH COUNTY, NJ

OWNER: **WOODY'S OCEAN PROPERTIES LLC**
1 EAST CHURCH STREET
SEA BRIGHT, NJ 07760

APPLICANT: **WOODY'S OCEAN PROPERTIES LLC**
1 EAST CHURCH STREET
SEA BRIGHT, NJ 07760

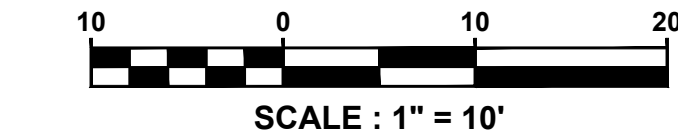
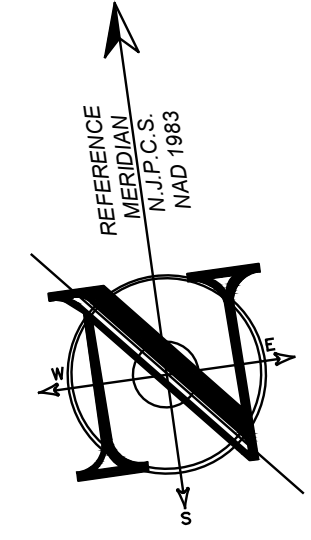
APPLICANT'S PROFESSIONALS

ATTORNEY:
JENNIFER S. KRIMKO, ESQ
ANSELL GRIMM & AARON, PC
1500 LAWRENCE AVENUE-ON 7807
OCEAN, NJ 07712

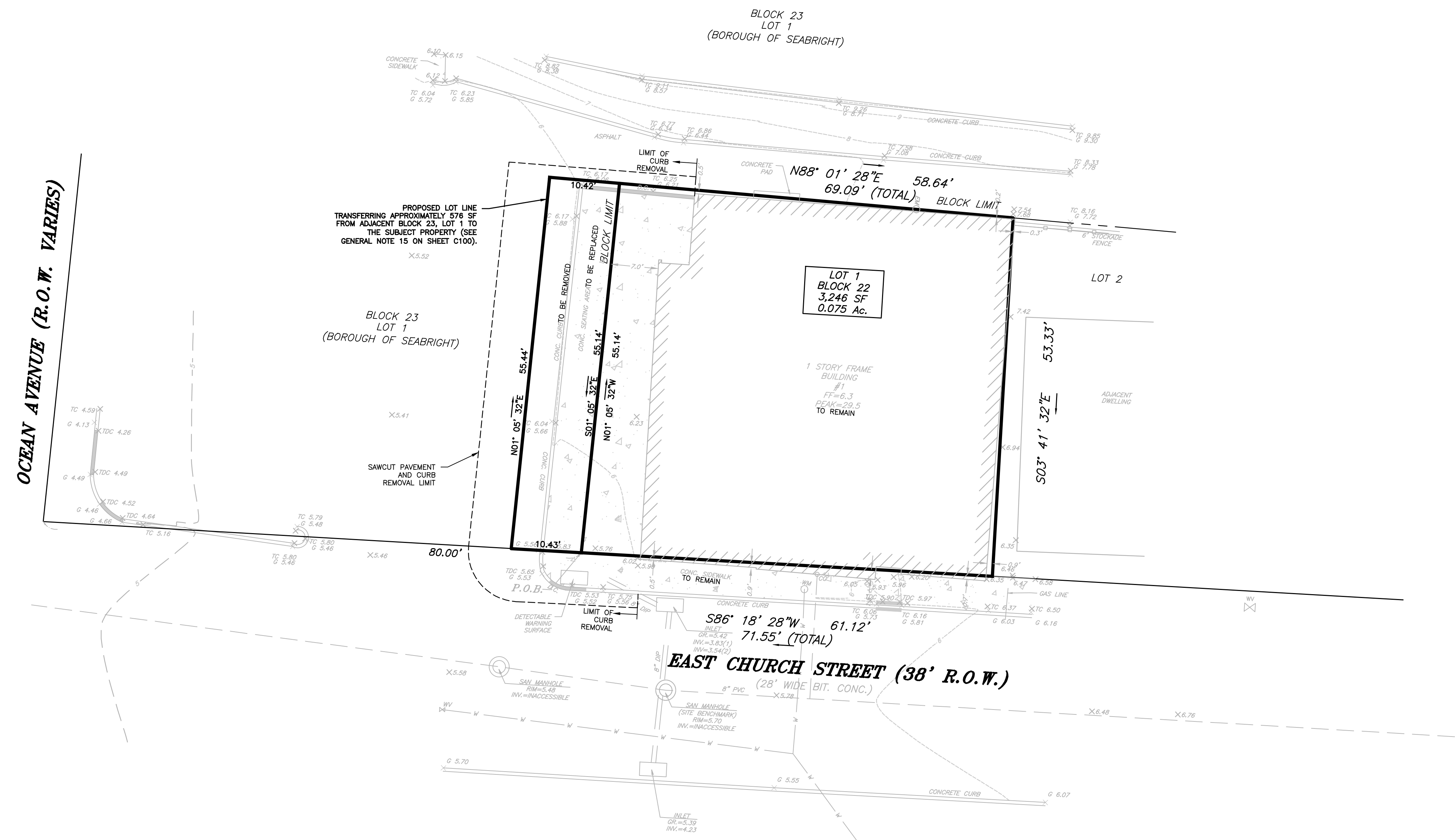
SURVEYOR (BOUNDARY):
COLLIERS ENGINEERING AND DESIGN
101 CRAWFORDS CORNER ROAD
SUITE 3400
HOLMDEL, NJ 07733

SURVEYOR (TOPOGRAPHY):
IN SITE SURVEYING
1955 ROUTE 34
SUITE 1A
WALL, NJ 07719

ARCHITECT:
LINO PASCIC ARCHITECT
123 GROVE STREET
TENAFLY, NJ 07670



EXISTING		PROPOSED	
[Symbol]	BOUNDARY LINE	[Symbol]	BOUNDARY LINE
[Symbol]	CONTOUR LINE	[Symbol]	CONTOUR LINE
[Symbol]	SPOT ELEVATION	[Symbol]	SPOT ELEVATION
[Symbol]	BUILDING	[Symbol]	BUILDING
[Symbol]	WALL	[Symbol]	WALL
[Symbol]	GAS	[Symbol]	GAS
[Symbol]	WATER	[Symbol]	WTR
[Symbol]	INLET	[Symbol]	INLET
[Symbol]	STORM	[Symbol]	STORM
[Symbol]	SANITARY MAIN	[Symbol]	SAN
[Symbol]	SANITARY LATERAL	[Symbol]	SAN
[Symbol]	OVERHEAD WIRE	[Symbol]	OH
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[Symbol]	TELEPHONE	[Symbol]	TEL
[Symbol]	UTILITY POLE	[Symbol]	UTILITY POLE
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[Symbol]	LIGHT FIXTURE	[Symbol]	LIGHT FIXTURE
[Symbol]	TEST PIT LOCATION	[Symbol]	TEST PIT LOCATION
[Symbol]	GRADE FLOW ARROW	[Symbol]	GRADE FLOW ARROW
[Symbol]	SWALE CENTER LINE	[Symbol]	SWALE CENTER LINE



CALL BEFORE YOU DIG!
NJ ONE CALL 800-272-1000
(or dial 811 prior to excavation)

ELECTRIC	RED
GAS OIL	YELLOW
COMMUNICATION TV	ORANGE
WATER	BLUE
SEWER	GREEN
TEMP SURVEY MARKINGS	MAGENTA
PROPOSED EXCAVATION	WHITE

IN SITE
Engineering • Surveying • Planning

IN Site Engineering, LLC
CERTIFICATE OF AUTHORIZATION: 24GA28083200
1955 ROUTE 34, SUITE 1A, WALL, NJ 07719
732-531-7100 (Ph) 732-531-7344 (Fax)
inSite@inSiteEng.net www.inSiteEng.net

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA, DELAWARE, CONNECTICUT, NORTH CAROLINA, COLORADO, & DISTRICT OF COLUMBIA

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PROFESSIONAL ENGINEER
NJ PE 24GE05331000

REVISIONS

Rev. #	Date	Comment
0	09/08/23	INITIAL RELEASE
1	09/08/23	DESIGNED BY: JMW
2	09/08/23	DRAWN BY: JMW
3	09/08/23	CHECKED BY: DDC/JLF
4	09/08/23	CAD ID: 22-1527-02r0
<input checked="" type="checkbox"/> NOT FOR CONSTRUCTION		
APPROVED BY:		
<input type="checkbox"/> FOR CONSTRUCTION		

PLAN INFORMATION

DRAWING TITLE: **MINOR SITE PLAN**

SHEET TITLE: **EXISTING CONDITIONS AND SITE PREPARATION PLAN**

SHEET NO.: **C200**

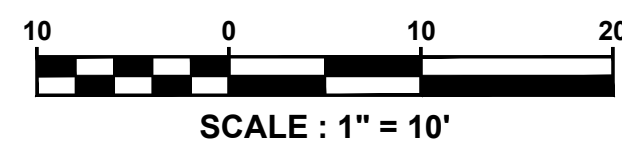
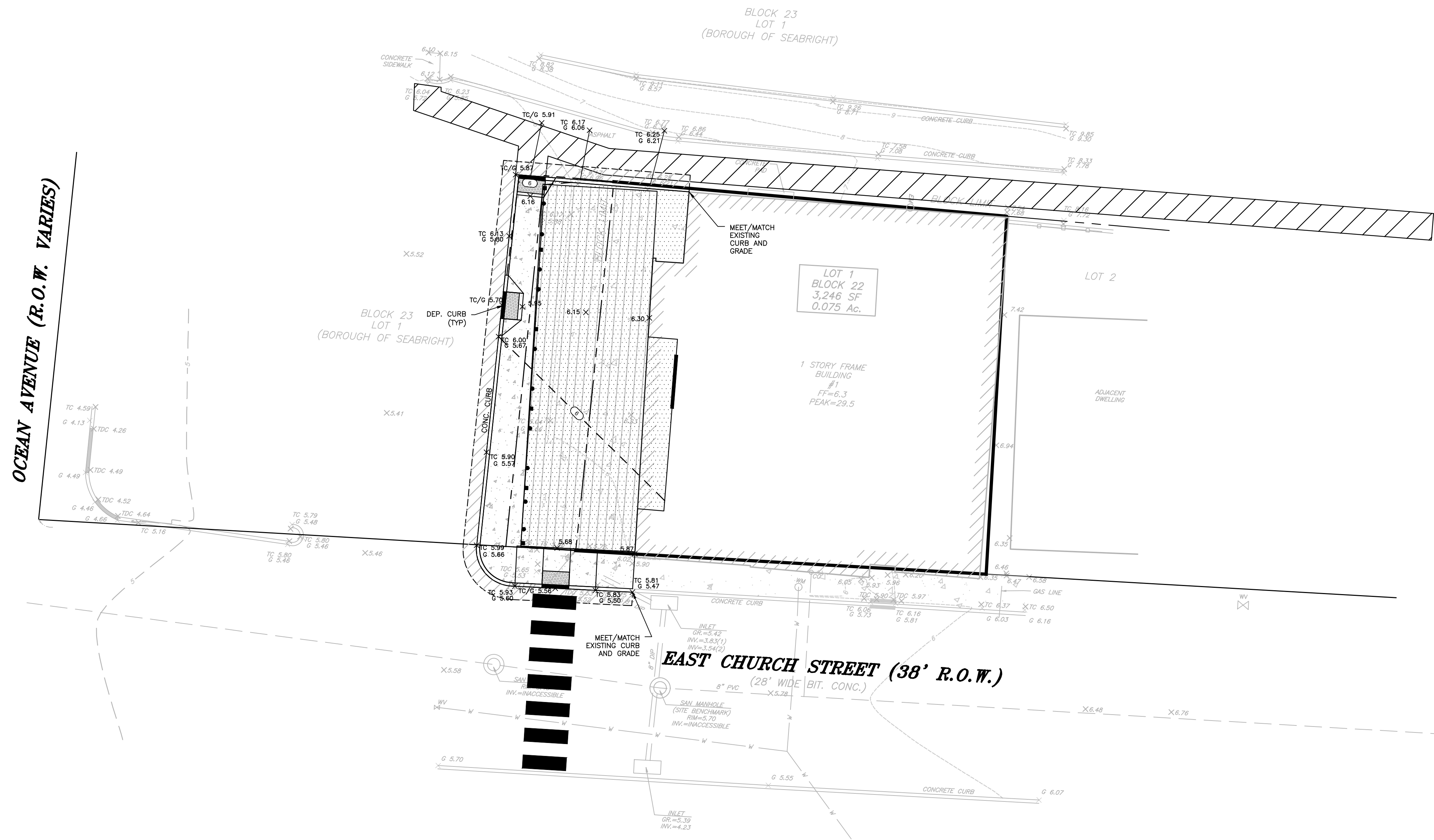
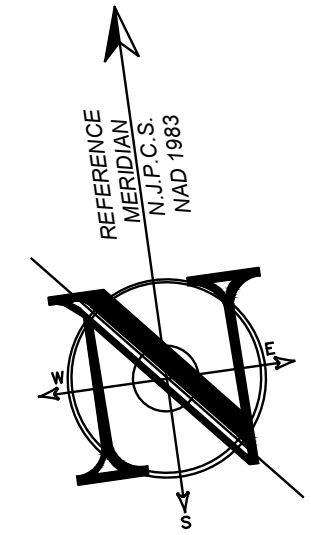
File: S:\Web\1527 - Christopher Wood\22-1527-02 - Woody's Ocean Grill\Site Plan\22-1527-02r0.dwg - Woody's Ocean Grill_Site Plan\22-1527-02r0.dwg - Existing Conditions.dwg -> C200 Existing Conditions Plan
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GRADING NOTES

1. ALL PROPOSED ON-SITE CURBING TO BE VERTICAL CURB WITH 4" REVEAL, UNLESS OTHERWISE STATED.
2. ALL CURBS SHALL BE DEPRESSED AT CROSSWALKS AND CONFORM TO APPLICABLE STATE AND FEDERAL BARRIER FREE DESIGN STANDARDS.
3. ALL CURB INLETS TO USE 6" CASTING. TOP OF CASTING TO FOLLOW TOP OF CURB ELEVATIONS.
4. FOR ALL AREAS LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY, ACCESSIBILITY SHALL BE IN ACCORDANCE WITH THE CURRENT PUBLIC RIGHTS-OF-WAY ACCESS ADVISORY COMMITTEE GUIDELINE (PROWAG).
 - a. ALL WALKING SURFACES TO HAVE A MAXIMUM RUNNING SLOPE OF 1:20 (5%).
 - b. ALL WALKING SURFACES GREATER THAN 1:20 (5%) WILL REQUIRE HANDRAILS.
 - c. RAMP RUNS SHALL HAVE A MAXIMUM CROSS SLOPE OF 1:12 (8.3%).
 - d. ALL WALKING SURFACES TO HAVE A MAXIMUM CROSS SLOPE OF 1:48 (2%).
 - e. ALL CROSSWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 1:48 (2%).
5. POSITIVE DRAINAGE TO BE MAINTAINED FROM ALL BUILDINGS IN ACCORDANCE WITH APPLICABLE REGULATIONS AND BUILDING CODE.
6. FLOOR ELEVATIONS, ADJACENT GRADE, DOORWAY LOCATIONS AND ELEVATIONS SHALL BE CONFIRMED WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION BY THE CONTRACTOR.
7. ALL EXCAVATED SOIL TO BE DISPOSED SHALL BE PROPERLY CLASSIFIED, HANDLED, AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
8. EXISTING FINISHED FLOOR ELEVATION TO REMAIN.
9. ALL IMPORTED SOILS MUST BE CERTIFIED CLEAN FILL. IMPORTED SOILS SHALL BE PLACED IN ACCORDANCE WITH THE GEOTECHNICAL SUBSURFACE INVESTIGATION REPORT. ALL IMPORTED MATERIAL REQUIRES APPROVAL BY OWNER PRIOR TO PLACEMENT ON-SITE.

UTILITY NOTES

1. EXISTING UTILITIES TO REMAIN AND BE UTILIZED.



LEGEND

EXISTING	PROPOSED
--- BOUNDARY LINE	--- BOUNDARY LINE
--- CONTOUR LINE	--- CONTOUR LINE
--- SPOT ELEVATION	--- SPOT ELEVATION
--- BUILDING	--- BUILDING
--- WALL	--- WALL
--- GAS	--- GAS
--- WATER	--- WATER
--- INLET	--- INLET
--- STORM	--- STORM
--- SANITARY MAIN	--- SANITARY MAIN
--- SANITARY LATERAL	--- SANITARY LATERAL
--- OVERHEAD WIRE	--- OVERHEAD WIRE
--- ELECTRIC	--- ELECTRIC
--- TELEPHONE	--- TELEPHONE
--- UTILITY POLE	--- UTILITY POLE
--- HYDRANT	--- HYDRANT
--- SIGN POST	--- SIGN POST
--- FENCE	--- FENCE
--- LIGHT FIXTURE	--- LIGHT FIXTURE
--- TEST PIT LOCATION	--- TEST PIT LOCATION
--- GRADE FLOW ARROW	--- GRADE FLOW ARROW
--- SWALE CENTER LINE	--- SWALE CENTER LINE

PROJECT INFORMATION

WOODY'S OCEAN GRILLE

PROJECT LOCATION:
BLOCK 22, LOT 1
1 EAST CHURCH STREET
BOROUGH OF SEA BRIGHT,
MONMOUTH COUNTY, NJ

OWNER:
WOODY'S OCEAN PROPERTIES LLC
1 EAST CHURCH STREET
SEA BRIGHT, NJ 07760

APPLICANT:
WOODY'S OCEAN PROPERTIES LLC
1 EAST CHURCH STREET
SEA BRIGHT, NJ 07760

APPLICANT'S PROFESSIONALS

ATTORNEY:
JENNIFER S. KRIMKO, ESQ
ANSELL GRIMM & AARON, PC
1500 LAWRENCE AVENUE-ON 7807
OCEAN, NJ 07712

SURVEYOR (BOUNDARY):
COLLIERS ENGINEERING AND DESIGN
101 CRAWFORDS CORNER ROAD
SUITE 3400
HOLMDEL, NJ 07733

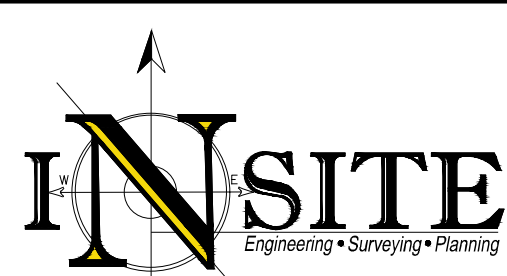
SURVEYOR (TOPOGRAPHY):
IN SITE SURVEYING
1955 ROUTE 34
SUITE 1A
WALL, NJ 07719

ARCHITECT:
LINO PICINIC ARCHITECT
123 GROVE STREET
TENAFLY, NJ 07670



CALL BEFORE YOU DIG!
NJ ONE CALL 800-272-1000
or 908-982-3434 (prior to excavation)

ELECTRIC	RED
GAS OIL	YELLOW
COMMUNICATION TV	ORANGE
WATER	BLUE
SEWER	GREEN
TEMP SURVEY MARKINGS	MAGENTA
PROPOSED EXCAVATION	WHITE



IN Site Engineering, LLC
CERTIFICATE OF AUTHORIZATION: 24GA28083200
1955 ROUTE 34, SUITE 1A, WALL, NJ 07719
732-531-7100 (Ph) 732-531-7344 (Fax)
inSite@inSiteEng.net www.inSiteEng.net

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA
DELAWARE, CONNECTICUT, NORTH CAROLINA,
COLORADO, & DISTRICT OF COLUMBIA

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AND MAY HAVE BEEN ALTERED.

Douglas D. Clelland
DOUGLAS D. CLELLAND, PE
PROFESSIONAL ENGINEER
NJ PE 24GE0531000

REVISIONS

Rev. #	Date	Comment
0	09/08/23	INITIAL RELEASE
1	09/08/23	SCALE 1"=10'
2	09/08/23	DESIGNED BY: JMW
3	09/08/23	DRAWN BY: JMW
4	22-1527-02	CHECKED BY: DDC/JLF
5	22-1527-02r0	

NOT FOR CONSTRUCTION

APPROVED BY:
FOR CONSTRUCTION

PLAN INFORMATION

MINOR SITE PLAN

GRADING & DRAINAGE PLAN

C401

Specifications



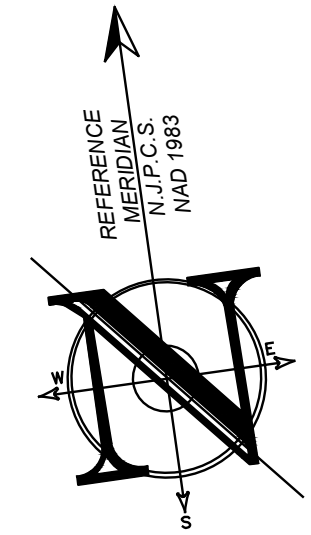
Product Length (ft.) 48 ft <small>See Similar Items</small>	Indoor/Outdoor Outdoor <small>See Similar Items</small>	Power Type Plug-in <small>See Similar Items</small>	Compatible Bulb Type Integrated LED LED
Space Between Bulbs (in.) 36 <small>See Similar Items</small>	Bulb Shape Edison <small>See Similar Items</small>	Lumens 200 <small>See Similar Items</small>	Voltage (v) 110v <small>See Similar Items</small>

Dimensions			
Product Depth (in.)	1.25 in	Product Height (in.)	6 in
Product Length (ft.)	48 ft	Product Length (in.)	576 in
Product Width (in.)	1.25 in		
Details			
Actual Color Temperature (K)	2700	Bulb Color	Clear
Bulb Shape	Edison	Color Rendering Index (CRI)	85
Color Temperature	Warm White	Compatible Bulb Type	Integrated LED LED
Exterior Lighting Product Type	String Lights	Fixture Color/Finish	Black
Indoor/Outdoor	Outdoor	Light Bulb Type Included	Integrated LED
Lumens	200	Number of Bulbs	16
Outdoor Lighting Features	Waterproof, Weather Resistant	Package Quantity	1
Power Type	Plug-in	Product Weight (lb.)	7.55 lb
Returnable	90-Day	Space Between Bulbs (in.)	36
Style	Cottage, Farmhouse, Industrial	Voltage (v)	110v
Watt Equivalence	11		

STRING LIGHT DETAIL
NTS

LUMINAIRE SCHEDULE						
LABEL	QTY	DESCRIPTION	WATTAGE	LAYOUT	MOUNT HEIGHT	TYPE
A	2	SKU: CSTINGLED18	11 WATT	STRING	10'	STRING

NOTE:
1. LIGHTING TEMPLATE VALUES SHOWN ARE: 1.0 AND 0.50 FOOTCANDLES.
2. ALL OUTDOOR LIGHTS, EXCEPT FOR SECURITY LIGHTS, SHALL BE TURNED OFF DURING NONOPERATING HOURS.
3. EXISTING LIGHTS ARE NOT INCLUDED IN THIS ANALYSIS.



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COMMUNICATION TV	ORANGE
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SEWER	GREEN
TEMP SURVEY MARKINGS	MAGENTA
PROPOSED EXCAVATION	WHITE



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Douglas D. Clelland
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PROFESSIONAL ENGINEER
NJ PE 24GE05331000

REVISIONS

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0	09/08/23	INITIAL RELEASE

SCALE: 1"=10'	DESIGNED BY: JMW
DATE: 09/08/23	DRAWN BY: JMW
JOB #: 22-1527-02	CHECKED BY: DDC/JLF
CAD ID: 22-1527-02r0	

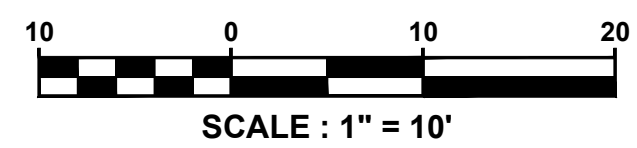
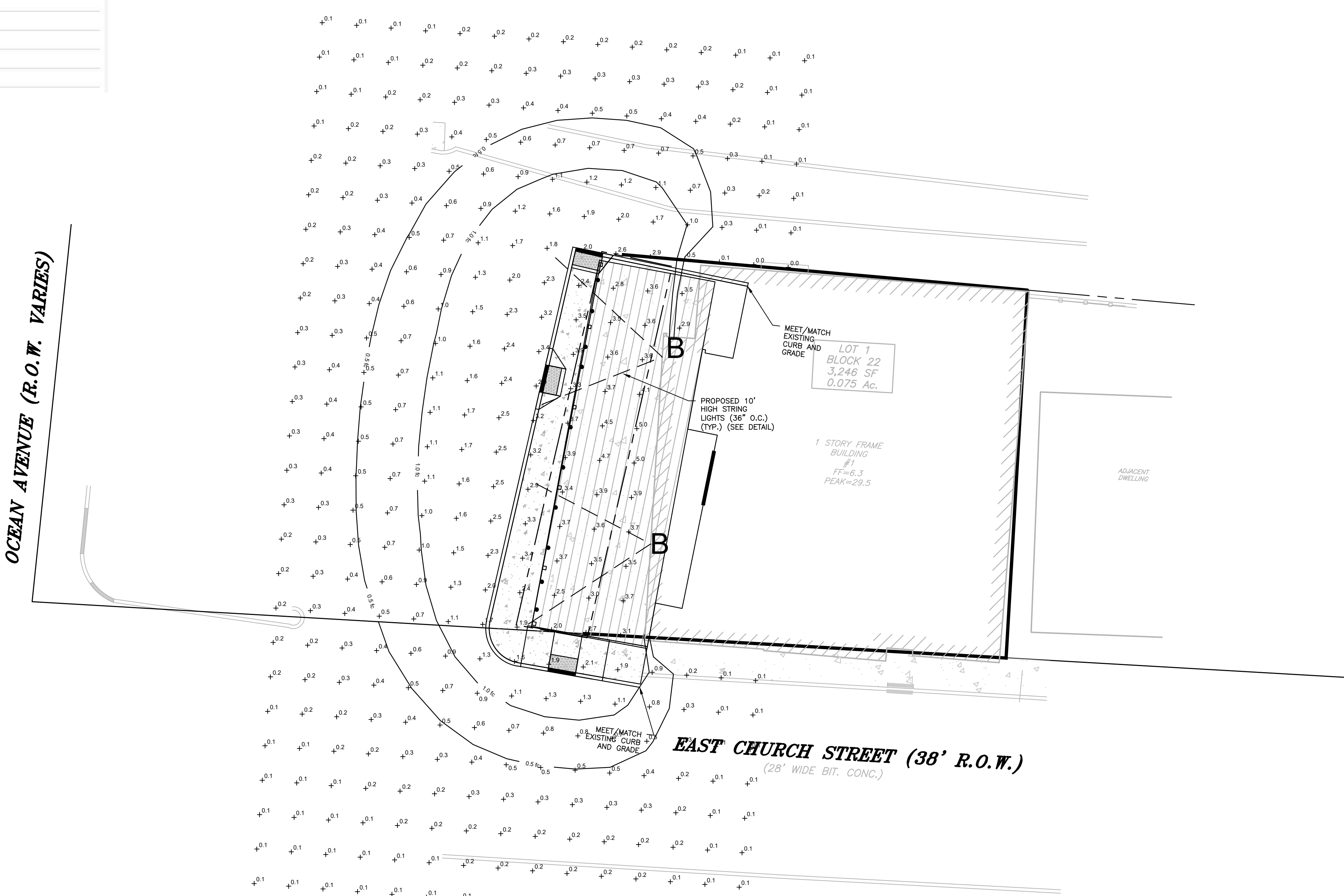
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 FOR CONSTRUCTION

PLAN INFORMATION

DRAWING TITLE:
MINOR SITE PLAN

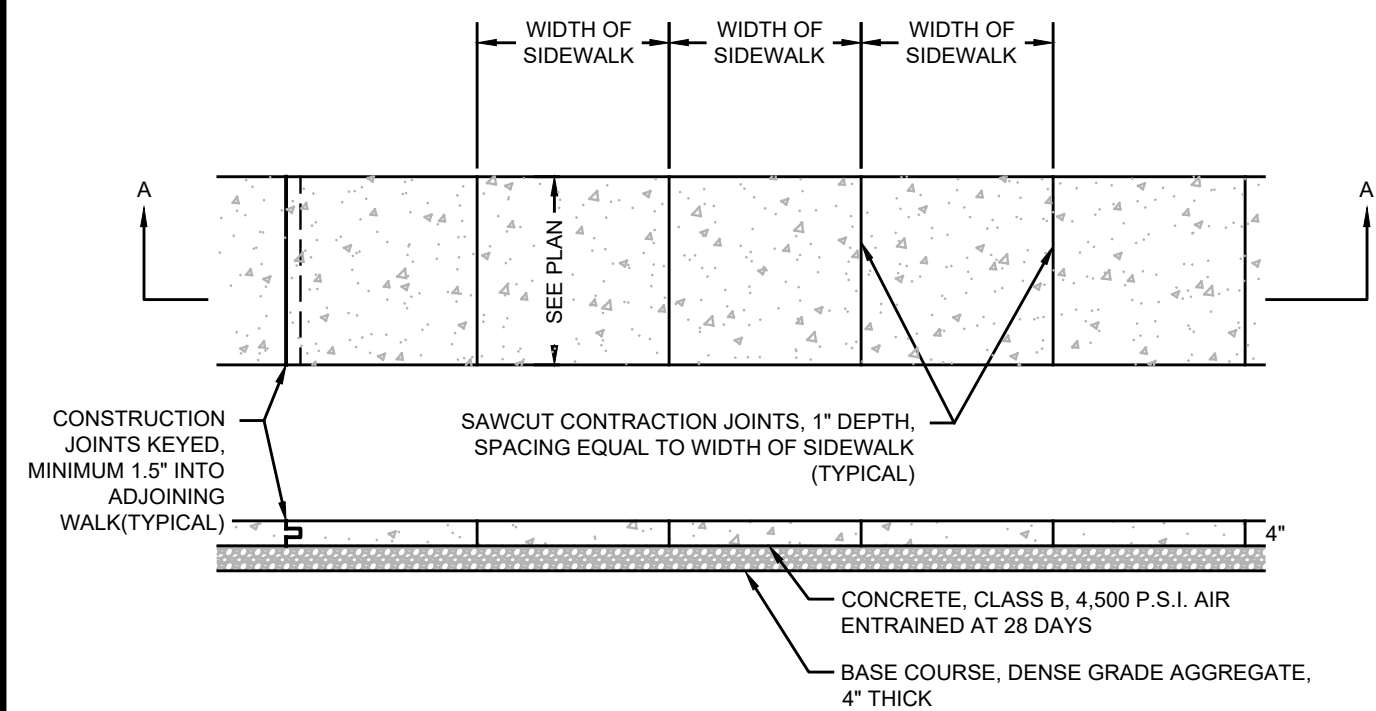
SHEET TITLE:
LIGHTING PLAN

SHEET NO.:
C600



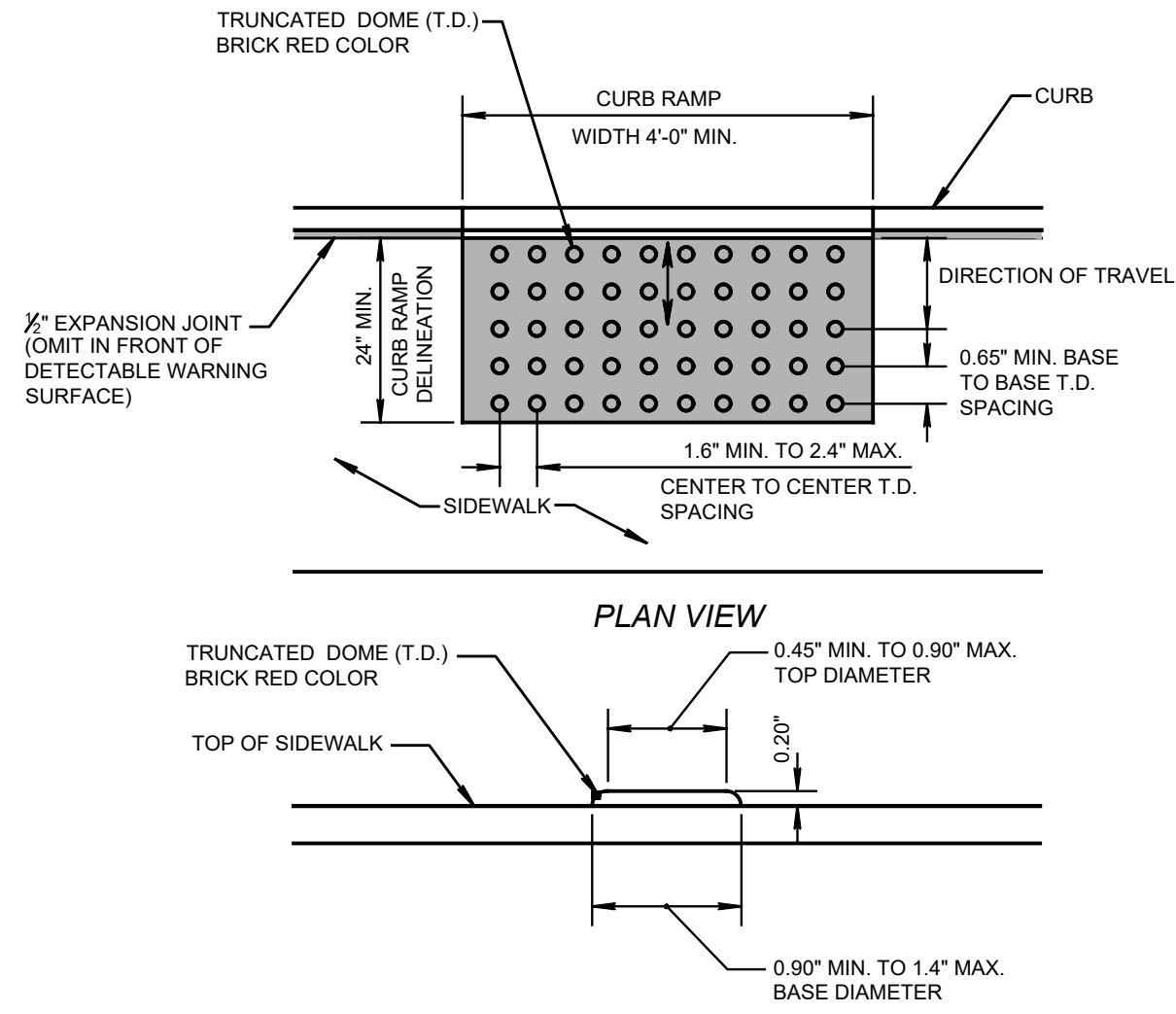
LEGEND	
EXISTING	PROPOSED
BOUNDARY LINE	BOUNDARY LINE
CONTOUR LINE	CONTOUR LINE
SPOT ELEVATION	SPOT ELEVATION
BUILDING	BUILDING
WALL	WALL
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TEST PIT LOCATION	TEST PIT LOCATION
GRADE FLOW ARROW	GRADE FLOW ARROW
SWALE CENTER LINE	SWALE CENTER LINE

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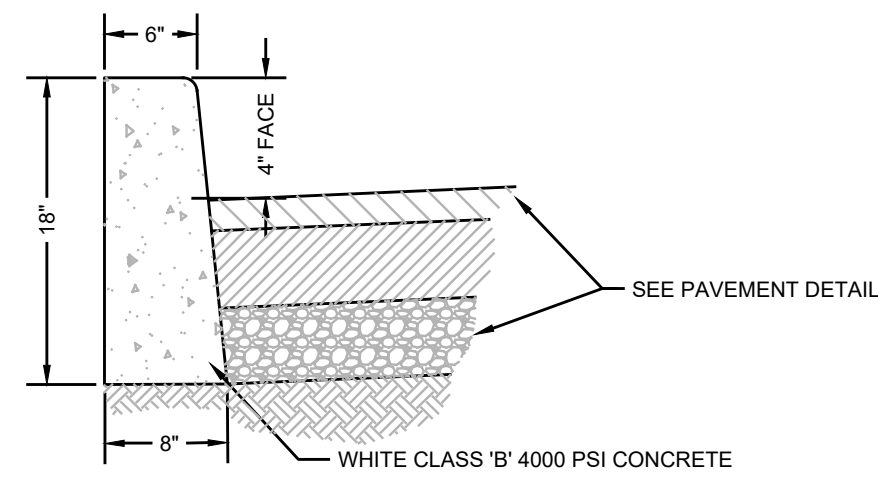
- CONSTRUCTION NOTES:**
- SUBGRADE SHALL BE WELL DRAINED AND COMPACTED TO A FIRM SURFACE WITH A UNIFORM BEARING LOAD.
 - FLOAT FINISH SIDEWALK FOLLOWED BY MEDIUM-TO FINE-TEXTURED BROOM FINISH, PERPENDICULAR TO THE LINE OF TRAFFIC.
 - ISOLATION JOINTS SHALL BE CONSTRUCTED WHERE SIDEWALK ADJOINS A CURB OR OTHER STRUCTURE, A 1/2" PREFORMED JOINT FILLER SHALL BE INSTALLED.

CONCRETE SIDEWALK
NTS



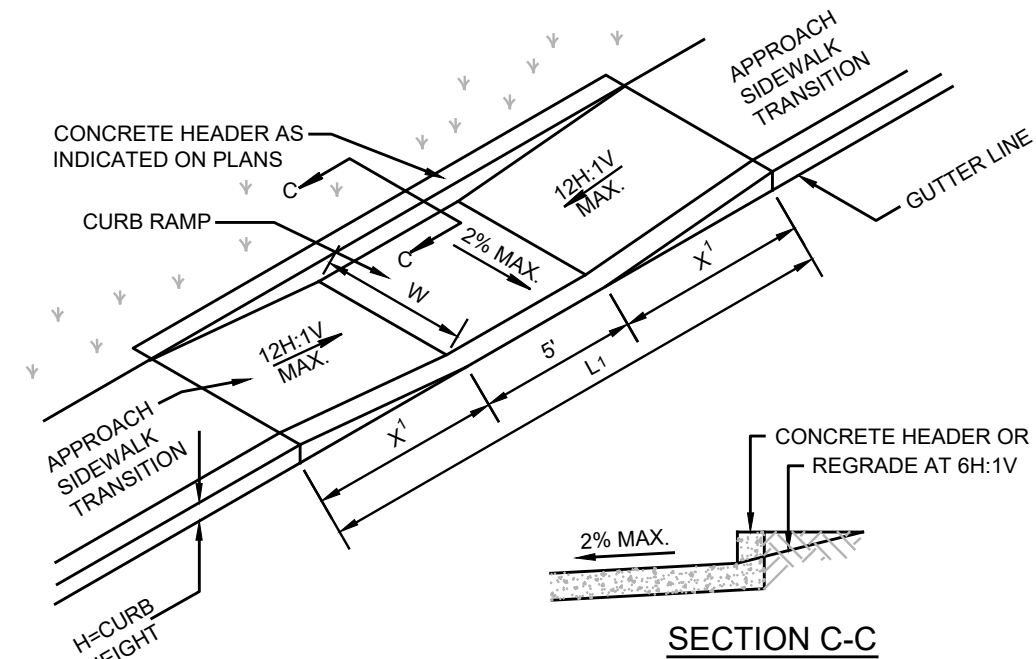
NOTE:
CONTRACTOR SHALL PROVIDE A DETECTABLE WARNING SURFACE SUBMITTAL TO PROJECT ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.

DETECTABLE WARNING SURFACE
NOT TO SCALE

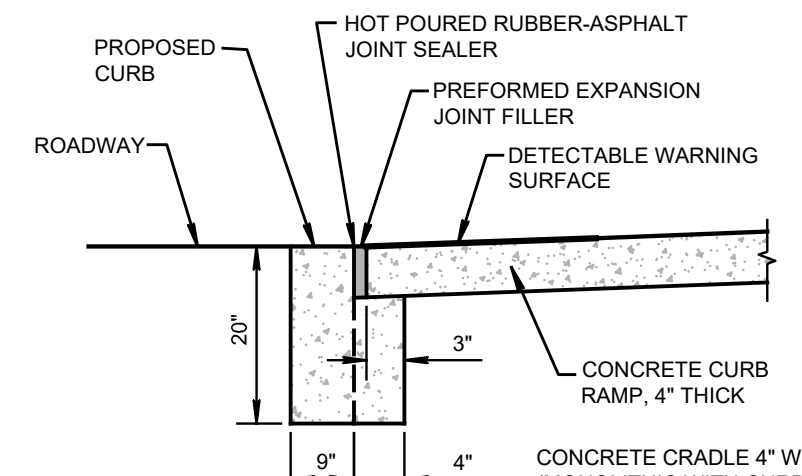


NOTE: ALL WORKMANSHIP, METHODS, MATERIALS TO BE IN ACCORDANCE WITH N.J.D.O.T. "STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION, (LATEST EDITION)"

CONCRETE CURB
N.T.S.



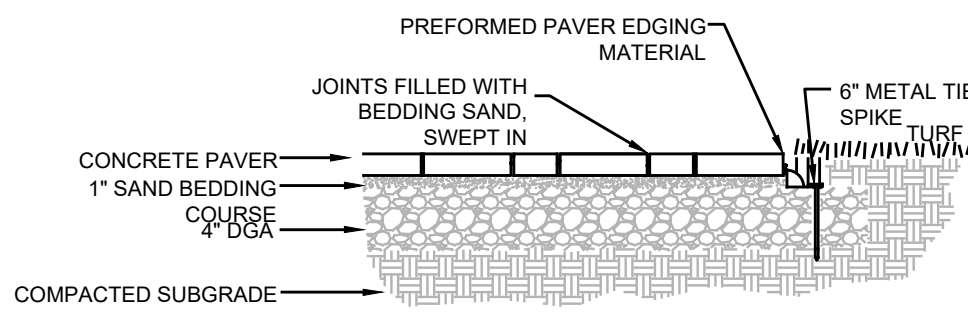
CURB RAMP TYPE 7
NTS



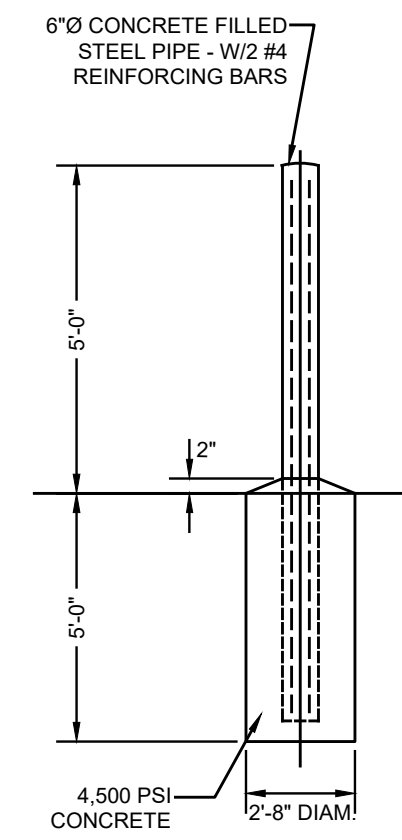
NOTES:

- IN LIEU OF THE ABOVE DETAIL, CURB AND SIDEWALK RAMP MAY BE POURED MONOLITHICALLY AS APPROVED BY THE ENGINEER.
- ALL FULL CURB DEPRESSIONS SHALL BE CONSTRUCTED OF CONCRETE, REGARDLESS OF THE CURB TYPE THROUGHOUT THE PROJECT.

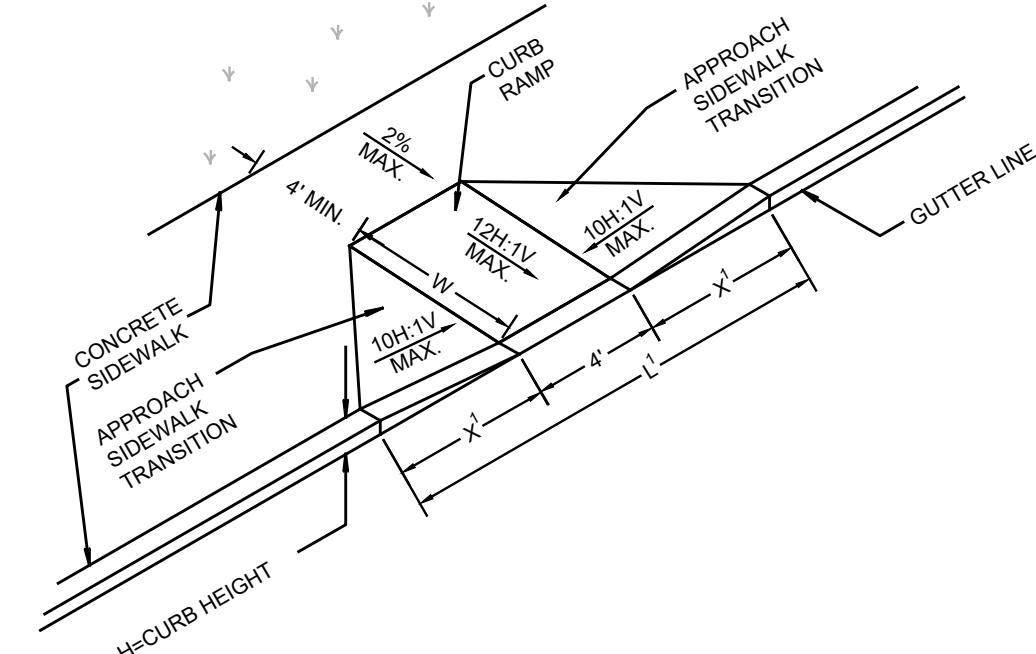
CURB RAMP - DROPPED CURB AND CRADLE
NTS



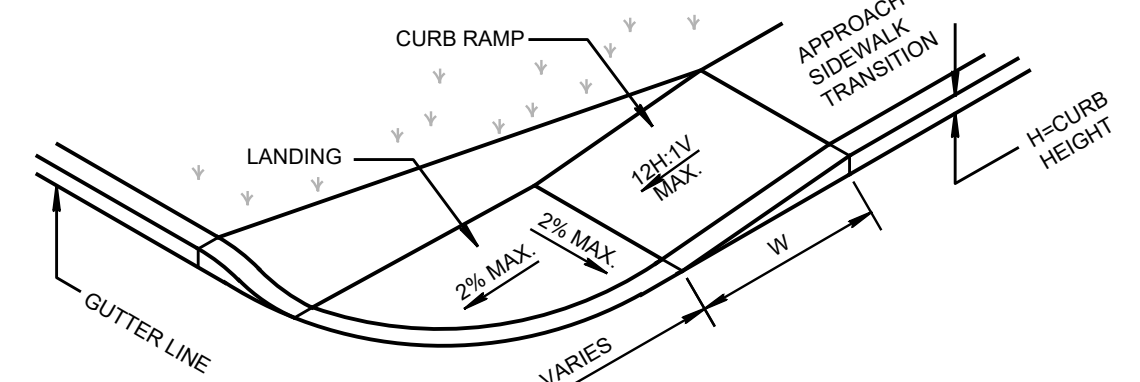
CONCRETE PAVER WALKWAY
NTS



6" BOLLARD DETAIL
NTS



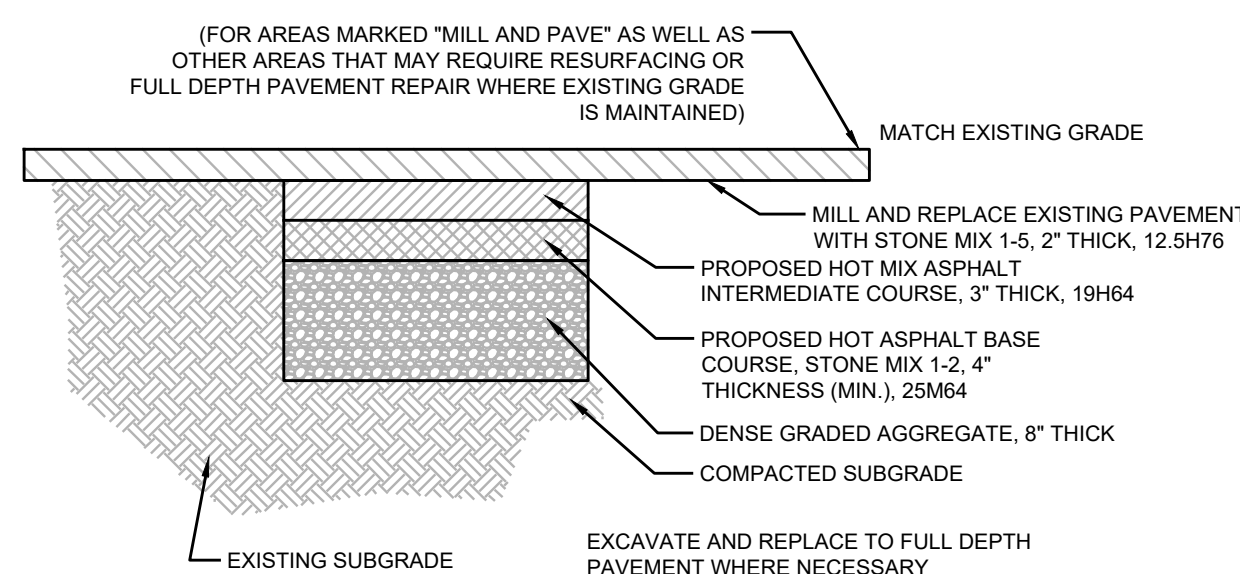
CURB RAMP TYPE 1
NTS



CURB RAMP TYPE 5
NTS

- GENERAL NOTES:**
- LANDING AREA, APPROACH SIDEWALK TRANSITIONS, AND CURB RAMP SHALL BE KEPT CLEAR.
 - DIMENSIONS SHOWN IN TABLES ARE FOR RELATIVELY FLAT SIDEWALK AREAS. CARE SHOULD BE TAKEN WHEN DETERMINING CURB RAMP SIZE BASED ON CURB HEIGHT (H) WHERE ELEVATION OF CURB AND SIDEWALK VARY DRASTICALLY IN AREA OF PROPOSED CURB RAMP.
 - CURB (DROPPED CURB) GUTTERLINE SHALL BE FLUSH WITH ROADWAY PAVEMENT A MINIMUM OF 4 FEET AT ALL CURB RAMP, EXCEPT THAT CURB RAMP TYPE 6 SHALL BE A MINIMUM OF 5 FEET.
 - FOR CURB RAMP TYPES 5 AND 6, IF A GRASS BUFFER DOES NOT EXIST, SLOPE CURB TO EQUAL SLOPE OF ADJACENT CURB RAMP.
 - WHERE THE DISTANCE FROM THE GUTTER LINE TO THE OUTSIDE EDGE OF SIDEWALK IS 6 FEET OR LESS, THE SIDEWALK CURB RAMP DELINEATION (SHADED AREA) SHALL BE SAFETY RED IN COLOR ON 70% COLOR CONTRAST FOR OTHER SURFACES SUCH AS CONCRETE AT BRICK.
 - WHERE THE DISTANCE FROM THE GUTTER LINE TO THE OUTSIDE EDGE OF THE SIDEWALK IS 6 FEET OR LESS, CURB RAMP TYPE 7 SHOULD BE USED, INSTEAD OF CURB RAMP TYPES 1 THROUGH 4.
 - DIMENSIONS SHOWN ON THE TABLES ARE FOR 4, 6, OR 8 INCH CURB HEIGHTS, WHERE THE CURB HEIGHTS ARE OTHER THAN WHAT IS PROVIDED IN THE TABLES, THE DIMENSIONS OF THE RAMPS WILL HAVE TO BE CALCULATED BASED ON THE CROSS SLOPES SHOWN.
 - ALL FULL CURB DEPRESSIONS SHALL BE CONSTRUCTED OF CONCRETE, REGARDLESS OF THE CURB TYPE THROUGHOUT THE PROJECT.

ADA ACCESSIBLE SIDEWALK AND CURB RAMPS
NTS

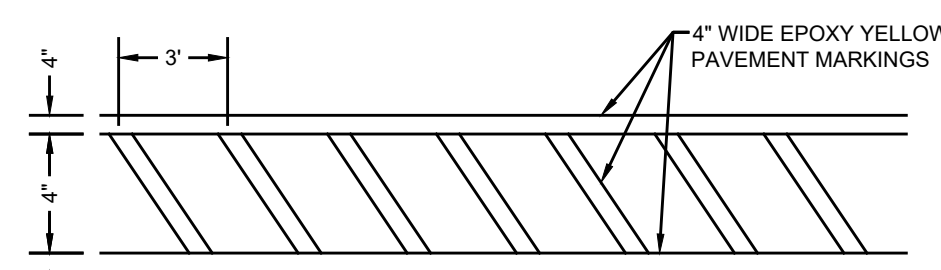


PAVEMENT CONSTRUCTION SEQUENCE:

- MILL AND EXCAVATE WHERE NOTED ON PLAN.
- PREPARE BASE WHERE NECESSARY.
- INSTALL SURFACE COURSE OVER ENTIRE PAVED AREA AT ONE TIME.

MATERIALS FOR ASPHALT SURFACE SHALL CONFORM TO SECTION 404.02 OF THE NJDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION). MATERIALS FOR ASPHALT BASE SHALL CONFORM TO SECTIONS 301.02 AND 304.02 OF THE NJDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION).

PAVEMENT REPAIR
NTS



WALKWAY STRIPING
NTS



CROSSWALK DETAIL
NTS

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PLAN INFORMATION

MINOR SITE PLAN

CONSTRUCTION DETAILS

C800