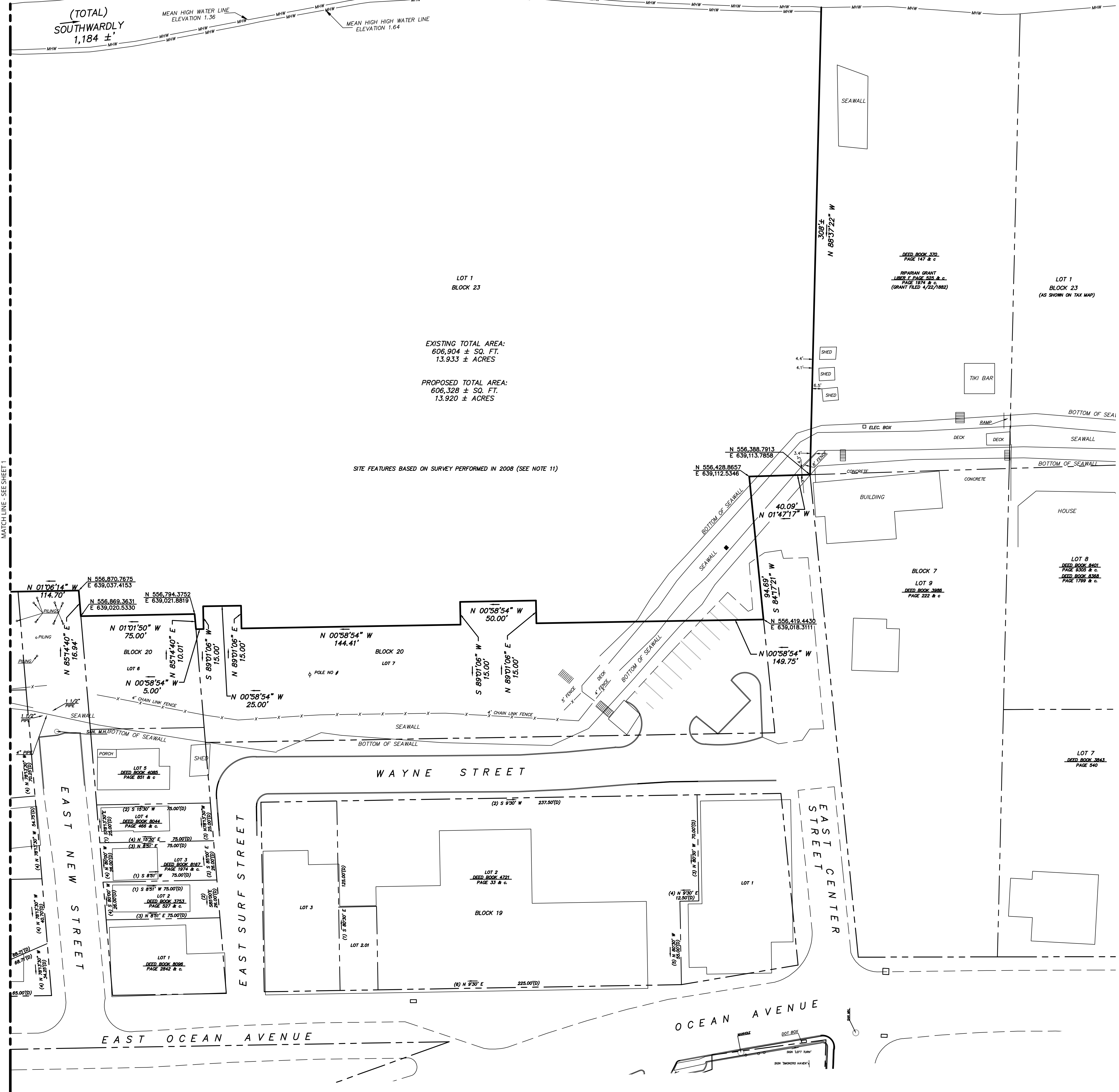


ATLANTIC OCEAN



(TOTAL) SOUTHWARDLY 1,184 ±'

EXISTING TOTAL AREA: 606,304 ± SQ. FT. 13.933 ± ACRES
PROPOSED TOTAL AREA: 606,328 ± SQ. FT. 13.920 ± ACRES

SITE FEATURES BASED ON SURVEY PERFORMED IN 2008 (SEE NOTE 11)

MATCHLINE - SEE SHEET 1

AS OWNER/APPLICANT OF A PART OF LOT 1, BLOCK 22, I/WE HEREBY CONSENT TO THE FILING OF THIS MAP IN THE MONMOUTH COUNTY CLERK'S OFFICE, MONMOUTH COUNTY, NEW JERSEY.

WOODY'S OCEAN GRILLE LLC, ATT: CHRISTOPHER T. WOOD
1 EAST CHURCH STREET
SEA BRIGHT, NJ 07760
732.956.1300
SWORN AND SUBSCRIBED BEFORE ME THIS ___ DAY OF ___ 2023

NOTARY PUBLIC _____ DATE _____

MY COMMISSION EXPIRES ON _____

AS OWNER OF A PART OF LOT 1, BLOCK 23, I/WE HEREBY CONSENT TO THE FILING OF THIS MAP IN THE MONMOUTH COUNTY CLERK'S OFFICE, MONMOUTH COUNTY, NEW JERSEY.

BOROUGH OF SEA BRIGHT, ATT: BRIAN P. KELLY, MAYOR
109 OCEAN AVENUE
SEA BRIGHT, NJ 07760
732.842.2099
SWORN AND SUBSCRIBED BEFORE ME THIS ___ DAY OF ___ 2023

NOTARY PUBLIC _____ DATE _____

MY COMMISSION EXPIRES ON _____

I CERTIFY TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF THAT THIS LAND SURVEY OF LOT 1, BLOCK 23, DATED JUNE 7, 2023, MEETS THE REQUIREMENTS OF THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THAT THE OUTBOUND CORNER MARKERS AS SHOWN HAVE BEEN FOUND.

LEO E. PONZIO
NEW JERSEY PROFESSIONAL LAND SURVEYOR,
I.C. No. 554962

I CERTIFY TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF THAT THIS LAND SURVEY OF LOT 1, BLOCK 23, DATED JUNE 7, 2023, MEETS THE REQUIREMENTS OF THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THAT THE OUTBOUND CORNER MARKERS AS SHOWN HAVE BEEN FOUND.

ERIC V. WILDE
NEW JERSEY PROFESSIONAL LAND SURVEYOR,
I.C. No. 554579

I HAVE CAREFULLY EXAMINED THIS MAP AND TO THE BEST OF MY KNOWLEDGE AND BELIEF FIND IT CONFORMS WITH THE PROVISIONS OF "THE MAP FILING LAW", RESOLUTION OF APPROVAL AND APPLICABLE MUNICIPAL ORDINANCES AND REQUIREMENTS.

MUNICIPAL ENGINEER (BOROUGH OF SEA BRIGHT) _____ DATE _____

THE MONUMENTS SHOWN ON THIS MAP SHALL BE SET WITHIN THE TIME PROVIDED IN THE "MUNICIPAL LAND USE LAW", P.L. 1975, C.291 (C.40:55D-1 et seq.) OR LOCAL ORDINANCE. I CERTIFY THAT A ROAD HAS BEEN GIVEN TO THE BOROUGH OF SEA BRIGHT, GUARANTEEING THE FUTURE SETTING OF THE MONUMENTS AS DESIGNATED AND SHOWN ON THIS MAP. I DO FURTHER CERTIFY THAT THE STREETS, ROADS, LANE OR ALLEYS AS INDICATED ON THIS MAP HAVE BEEN APPROVED BY THE MUNICIPAL AGENCIES OF THE BOROUGH OF SEA BRIGHT.

MUNICIPAL CLERK _____ DATE _____

APPROVED AS A MINOR SUBDIVISION BY THE PLANNING BOARD OF THE BOROUGH OF SEA BRIGHT, MONMOUTH COUNTY, NEW JERSEY.

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

THIS IS TO CERTIFY THAT THE PLANNING BOARD IS THE PROPER AUTHORITY TO APPROVE, AND HAS APPROVED THIS MAP AND THAT THIS MAP COMPLIES WITH ALL THE PROVISIONS OF N.J.A.C. 17:27, KNOWN AS THE "MAP FILING LAW". THIS MAP SHALL BE FILED IN THE MONMOUTH COUNTY CLERK'S OFFICE ON OR BEFORE THE ___ DAY OF ___ 2023 WHICH SAID DATE IS 35 DAYS FROM THE SIGNING OF THIS MAP.

SECRETARY OF PLANNING BOARD _____ DATE _____

LEGEND: TRAVERSE LINE, CENTER LINE OR BASELINE, RIGHT OF WAY LINE, PROPERTY LINE, EDGE OF PAVEMENT, CURB LINE, DEPRESSED CURB, CHAIN FENCE, MUNICIPAL BOUNDARY, TREELINE, ELECTRICAL MANHOLE, WATER MANHOLE, TELEPHONE MANHOLE, UNMARKED MANHOLE, SANITARY MANHOLE, DRAINAGE MANHOLE, MAJOR CONTOUR, MINOR CONTOUR, SPOT ELEVATION, TOP OF CURB ELEV., BOTTOM OF CURB ELEV., U/G CABLE TV LINE, U/G FIBER OPTIC LINE, U/G TELEPHONE LINE, U/G ELECTRIC LINE, OVERHEAD WIRE, WATER MAIN, GAS MAIN, SAN. SEWER LATERAL, SAN. SEWER MAIN, STORM PIPE, WETLAND MARKER, TREE, ROADWAY SIGNS, TRAFFIC FLOW, MAILBOX, TRAFFIC SIGNAL POLE, POLE MOUNTED LIGHT, UTILITY POLE, GUY WIRE, TRANSFORMER, FIRE DEPT. CONNECTION, FIRE HYDRANT, WATER VALVE, GAS VALVE, SANITARY CLEANOUT, CONCRETE MONUMENT, CAPPED REBAR/IRON PIPE, STORM INLET TYPE 'A', STORM INLET TYPE 'B', STIM. DBL. INLET TYPE 'W', STORM INLET TYPE 'E', STIM. DBL. INLET TYPE 'E', FLARED END SECTION, HEADWALL. ABBREVIATIONS: D.C. = DEPRESSED CURB, DEP. = DEPRESSED, B.C. = BOTTOM OF CURB, C. = CENTERLINE, T.C. = TOP OF CURB, P.M. = PARKING METER, B.C. = BELLHOLE, M.H. = MEAN HIGH WTR, GRT = GRATE, W.L. = WATERLINE, M.L. = MAILBOX, M.L.W. = MEAN LOW WTR, F.F. = FINISH FLOOR, W.T. = WATERLINE, U.V. = UNKNOWN VALVE, T.W. = TOP OF WALL, M. = MANHOLE, B.W. = BOTTOM WALL.

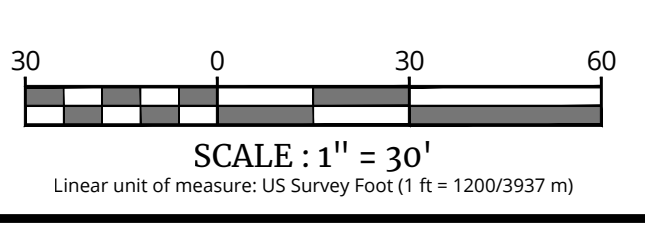


Table with columns: DRAWN BY, DATE, REV, DATE, DESCRIPTION. Multiple rows for revision tracking.

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Eric V. Wilde
NEW JERSEY LICENSED PROFESSIONAL LAND SURVEYOR
LICENSE NUMBER: G543279
COLLIERS ENGINEERING & DESIGN, INC.
N.J. C.O.A. # 2464789650

MINOR SUBDIVISION
FOR
BOROUGH OF SEA BRIGHT
BLOCK 22
&
BLOCK 23
LOT 1
BOROUGH OF SEA BRIGHT
MONMOUTH COUNTY
NEW JERSEY

HOLMDEL (Headquarters)
101 Crawford Corner Road,
Suite 3400
Holmdel, NJ 07733
Phone: 732.383.1950
COLLIERS ENGINEERING & DESIGN, INC.
3000 BROADWAY ASBURY PARK, NJ 08003

SCALE: 1" = 30'
DATE: 6/7/23
PROJECT NUMBER: 23006392A
DRAWING NAME: V-SUBD
SHEET NUMBER: 2 of 2