

PROJECT NOTES

All notes below apply to this project except those sections marked with an "X": ☒

GENERAL NOTES

CODES & STANDARDS: All work shall conform with the requirements of the N.J.U.C.C., IBC 2018 NJ Edition, National Electric Code, National Plumbing Code, N.F.P.A. recommendations, O.S.H.A., and all local codes and ordinances applicable to this project.

CLARIFICATIONS: Prior to submitting a bid, the contractor shall become familiar with the project by careful inspection of the site and construction documents. Should any error, omission, ambiguity or discrepancy exist on the drawings which the contractor might reasonably be expected to detect, the same shall be brought to the attention of the Architect for correction or clarification prior to proceeding with the work involved. Any work that proceeds otherwise shall, if incorrectly performed, be replaced or repaired at no additional cost.

DIMENSIONS: The Contractor shall not scale off the drawings; written dimensions shall govern. Dimensions given are nominal unless indicated otherwise. All dimensions and conditions shall be verified in the field by the Contractor and any discrepancy brought to the attention of the Architect. Where a door or a window is drawn near a corner and no dimension is given, offset the opening enough to accommodate the full width of trim, minimum 4". Where elements are drawn centered in a space or opening, they shall be centered when installed. All corridors, stairs and clearance between counters and other built-ins shall be 36" minimum. All closets, unless noted otherwise, shall be 24" deep.

QUALITY: All work shall be performed in a workman-like manner. Match and align all surfaces where applicable to afford a finished, neat appearance. All existing surfaces and equipment shall be protected and any damage to such caused by the work shall be patched/repared such that they are left as they were before the commencement of the work. Contractor shall clean all dirt and refuse caused by the work.

INFERENCE: All work that is either implied or reasonably inferable from the contract documents shall be the responsibility of the contractor and a reference to any work by mention, note, detail or implication indicates the contractor shall perform a complete installation of such work. All equipment, fixtures and other devices shall be fully installed and shall be made fully operational and warranted when the job is complete.

SAFETY: Take full precaution to protect workers, passerby and adjacent property from any hazards caused by the work. Provide all fences, barricades and security as may be required to protect life and property. The Contractor shall protect all construction and materials from weather, vandalism, and theft. The Contractor shall be solely responsible for all property and personal damage or injury resulting from the conduct of the work and shall indemnify and save the Owner and the Architect harmless from all claims for loss of or damage to property or personal injury or death of any and all persons arising out of the work of this Contract.

COORDINATION: The Contractor shall be responsible for the coordination of the work of all subcontractors. The Contractor shall be responsible for the coordination of the work of this contract with the work of any other contractors hired separately by the Owner.

MATERIALS, products and equipment shall be new, standard, and of good quality, and all workmen and subcontractors shall be skilled in their trades. All products shall be installed in accordance with the manufacturers' written directions and/or recommendations.

PERMITS: The Contractor shall obtain and pay for all permits, fees, bonds and inspections. The Contractor shall make all arrangements for inspections. The Contractor shall file all required certificates of insurance.

CLEAN-UP: At the completion of the project the Contractors shall remove all rubbish from the site and leave the building broom clean.

DEMOLITION NOTES

STRUCTURAL INTEGRITY: The Contractor shall determine the direction of framing before removing any walls. If a wall is determined to be bearing and new structural support is not indicated on the drawings, notify Architect for additional design. Where structural support is to be removed, temporary shoring/bracing or new structural elements shall be added such that the structural stability and integrity of the building is maintained at all times.

ORDER: All demolition work shall be done carefully, neatly and in a systematic manner. Debris shall be removed regularly as the job proceeds such that it does not accumulate on the site.

UTILITIES: Remove or relocate all wiring, plumbing, ductwork and mechanical equipment affected by the demolition. Pipes to be removed shall be cut to a point of concealment behind or below finished surfaces and shall be properly capped or plugged.

WEATHER: The contractor shall provide adequate weather protection for the building and its contents during the course of the work. All openings in walls and roof shall be protected from all forms of water or weather penetration.

CONSTRUCTION NOTES

MATERIAL SELECTION: Unless noted otherwise, all new finishes, doors, hardware, trim, siding, roofing, coverplates, switches and all other exposed installations shall match existing. The Contractor shall verify all material selections with the Owner. In advance of material procurement and installation, provide samples for all exposed installations to the Owner for review, selection and approval of color, texture, shape, etc.

SYSTEMS: It shall be the responsibility of the contractor to hire qualified individuals to assess the existing building systems and to design and install all modifications/upgrades to the electrical, plumbing, mechanical and fire protection systems. The heating system shall be capable of maintaining inside temperature of 75 degrees F when the outdoor temperature is 0 degrees F and the wind velocity is 15 mph. The cooling system shall be capable of maintaining 78 degrees F when the outdoor temp. is 92 degrees F. All piping shall be protected from freezing. The Contractor shall coordinate with the Owner the quantity and location of all phone jacks, cable jacks, thermostats, and speakers. Relocate all existing meters, service connections, hose bibs, and other utility features to be affected by the work.

CENTERING: Unless noted otherwise, all beams/girders/headers shall be centered on the posts/columns which support them, and all posts/columns shall be centered on their footings.

VENTILATION: All attic spaces shall be ventilated by louvers and/or vents as required with a total clear opening of not less than one-third of one percent of the horizontally projected roof area. All crawl spaces shall be vented whereby the minimum net area of ventilation openings shall not be less than 1 square foot for each 150 s.f. of crawl space area. One vent shall be within 3 feet of each corner of the building.

STEEL COLUMNS: All new steel columns and all existing steel columns in work area shall be painted with a zinc rich rust inhibitive paint.

GYPSUM BOARD: All exposed gypsum board surfaces shall be taped, spackled, sanded, primed and painted two coats minimum.

FLOORING: Contractor shall install new floor finish to all new floor areas. Where not indicated on drawings, verify type and quality level with Owner.

WOOD NOTES

GRADE: All lumber for framing shall be Douglas Fir Select Structural Grade or better clearly stamped and graded.

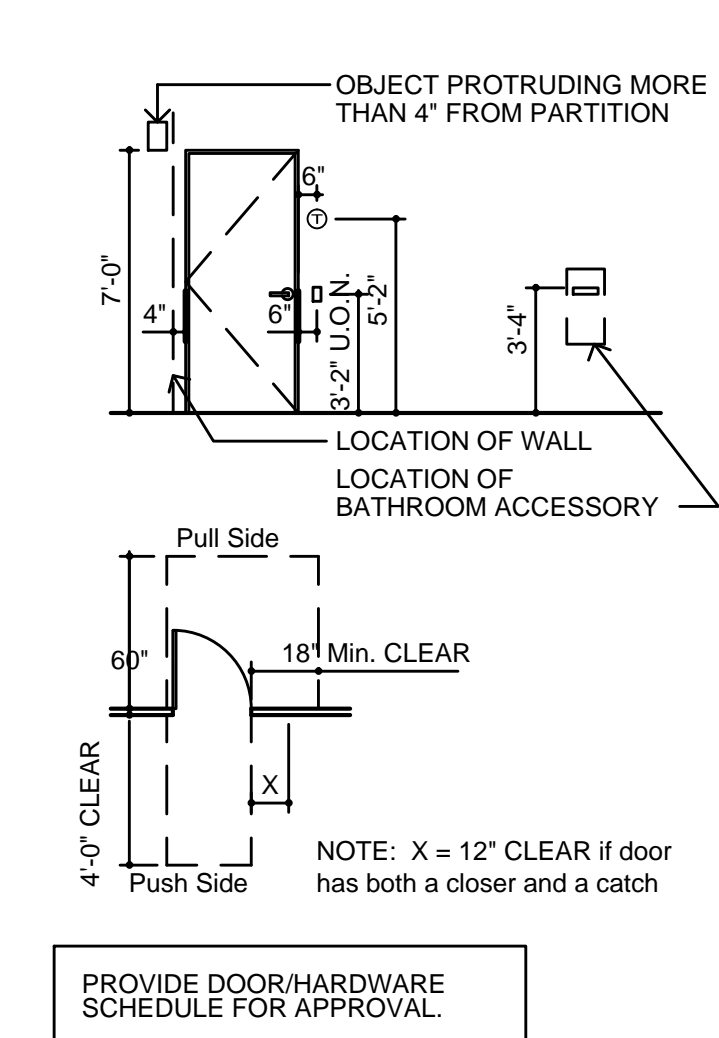
BLOCKING: Provide solid bearing under all joists, beams and posts. Provide solid blocking above sill plate below all posts.

DOUBLE FRAMING shall be provided around all openings through walls, floors and roofs and under all tubs and partitions parallel with the direction of framing.

HEADERS: provide (2)2x10 min. header for all wall openings 6'-0" wide or less, unless otherwise noted. All headers and beams spanning 6'-0" or more shall bear on a minimum of (2) 2x members.

DETAILS: Set all beams and joists natural camber up. No structural valleys are to be formed unless noted otherwise. Members shall not be drilled or notched excessively (see code for limitations on notching lumber and manufacturer's data for limitations on notching composite wood members). The minimum distance from grade to untreated lumber is 8". Provide metal joist and beam anchors, hangers, braces and connectors at all points of flush and suspended framing (products by Simpson, Teco or equal). Use hurricane anchors at all roof-to-wall connections, all wall-to-foundation connections, and all other connections as required by code. For composite wood girders, provide bearing as per manufacturer's recommendations. Where girders are noted to be "flush", the bottom of girder is to align with the bottom of adjacent joists. Size, number and location for all nailing and other connectors shall be as per building code.

GENERAL CLEARANCES



DRAWING LIST:

- A-1 TITLE / NOTES
- A-2 1ST FL. DEMO./CONST./ELEC. & REFLECT. CEILING PLANS + DETAILS

BUILDING/SITE CHARACTERISTICS

1. NUMBER OF STORIES	
2. HEIGHT OF STRUCTURE	FT.
3. AREA - LARGEST FLOOR	SQ. FT.
4. NEW BUILDING AREA	SQ. FT.
5. VOLUME OF NEW STRUCTURE	CU. FT.
6. CONSTRUCTION CLASSIFICATION	
7. TOTAL LAND AREA DISTURBED	SQ. FT.
8. FLOOD HAZARD ZONE	
9. BASE FLOOD ELEVATION	FT.
10. WETLANDS	YES
	NO
11. MAX. LIVE LOAD	
12. MAX. OCCUPANCY LOAD	
13. USE GROUP:	

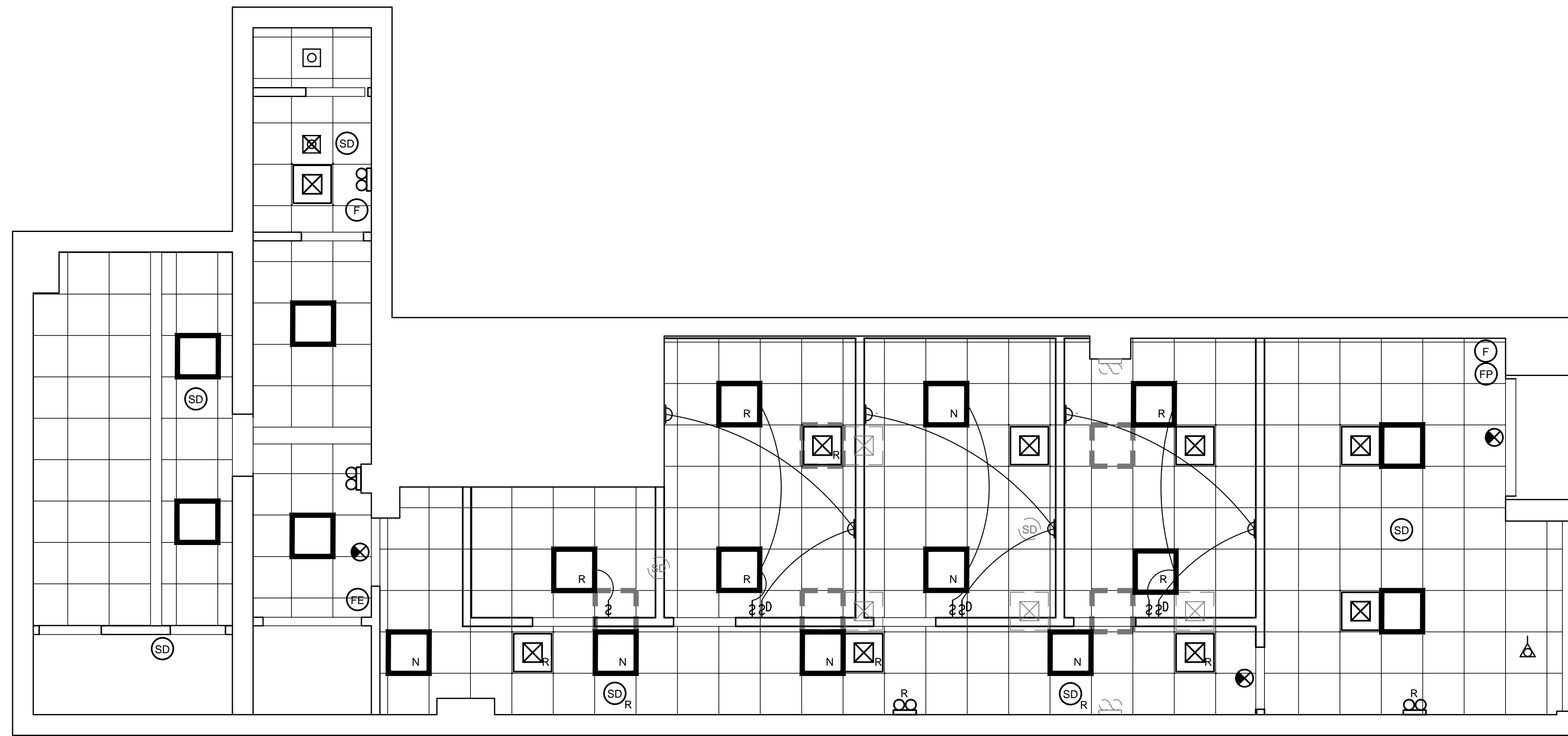
Interior Renovations
for
1052 Ocean Avenue
Sea Bright, NJ

Block # Lot #

Tenant/Applicant:
Exquisite Relief, LLC

ISSUE DATE	COMMENTS	SEAL
OCTOBER 28, 2022	PRELIMINARY-FOR REVIEW ONLY	NJ LIC #11519
NOVEMBER 18, 2022	FOR ZONING APPROVAL	

1052 Ocean Ave - Sea Bright, NJ	NJ LIC: #11519	
JAMES T. DALEY ARCHITECT + ASSOCIATES 273 FIRST STREET, KEYPORT, NJ 07735 phone: 732-739-2684 fax: 732-739-0837	DRAWN UP A-1	



REFLECTED CEILING PLAN
Scale: 1/4"=1'-0"

DEMO/CONST. PLAN SYMBOLS LEGEND

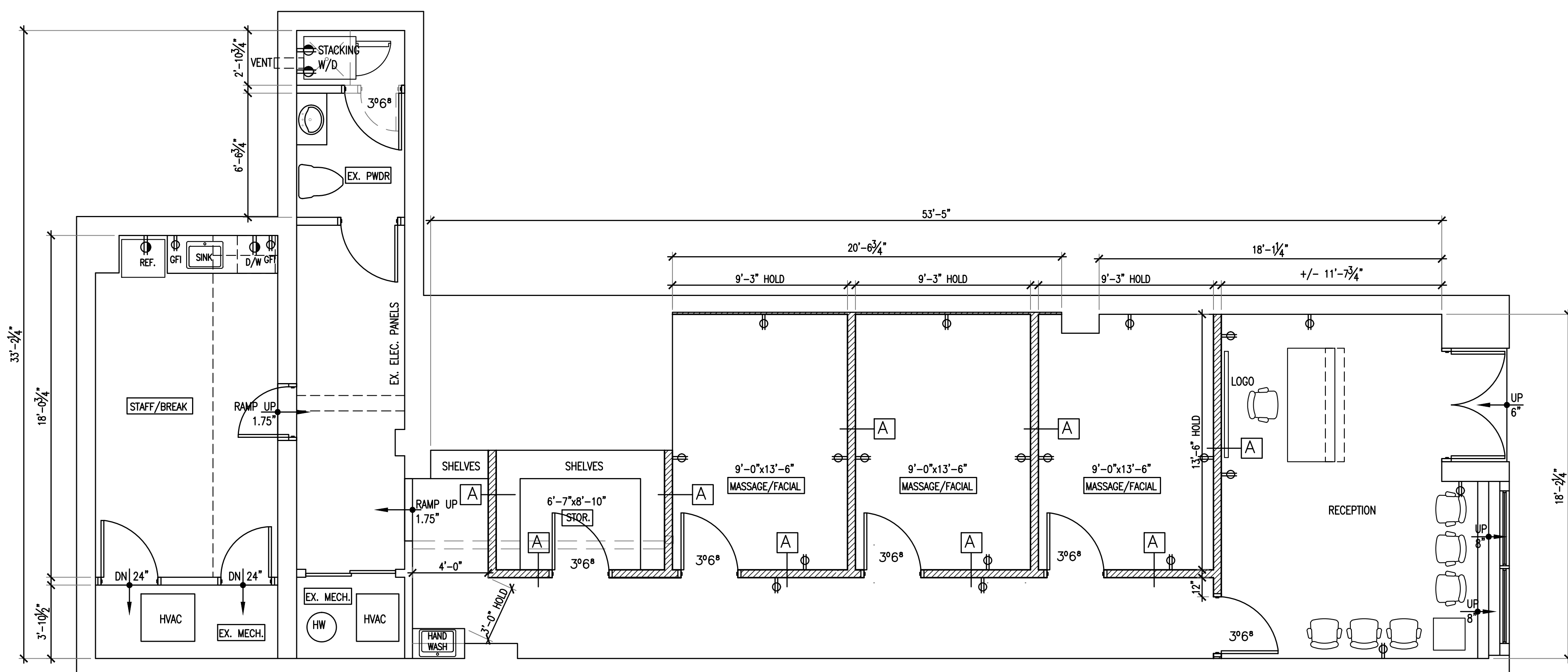
	EXISTING CONSTRUCTION TO REMAIN		ALIGN SYMBOL.
	EXISTING CONSTRUCTION TO BE DEMOLISHED		ELEVATION SYMBOL: ELEVATION LETTER DRAWING NUMBER
	NEW WALL CONSTRUCTION - LETTER INDICATES WALL TYPE - SEE DETAILS		SPACE NAME.
	EXISTING/NEW DOOR - NUMBER REFERS TO DOOR SCHEDULE		
	SPECIAL NOTE - REFER TO SPECIAL NOTES ON SHEET		

ELECTRIC SYMBOLS LEGEND

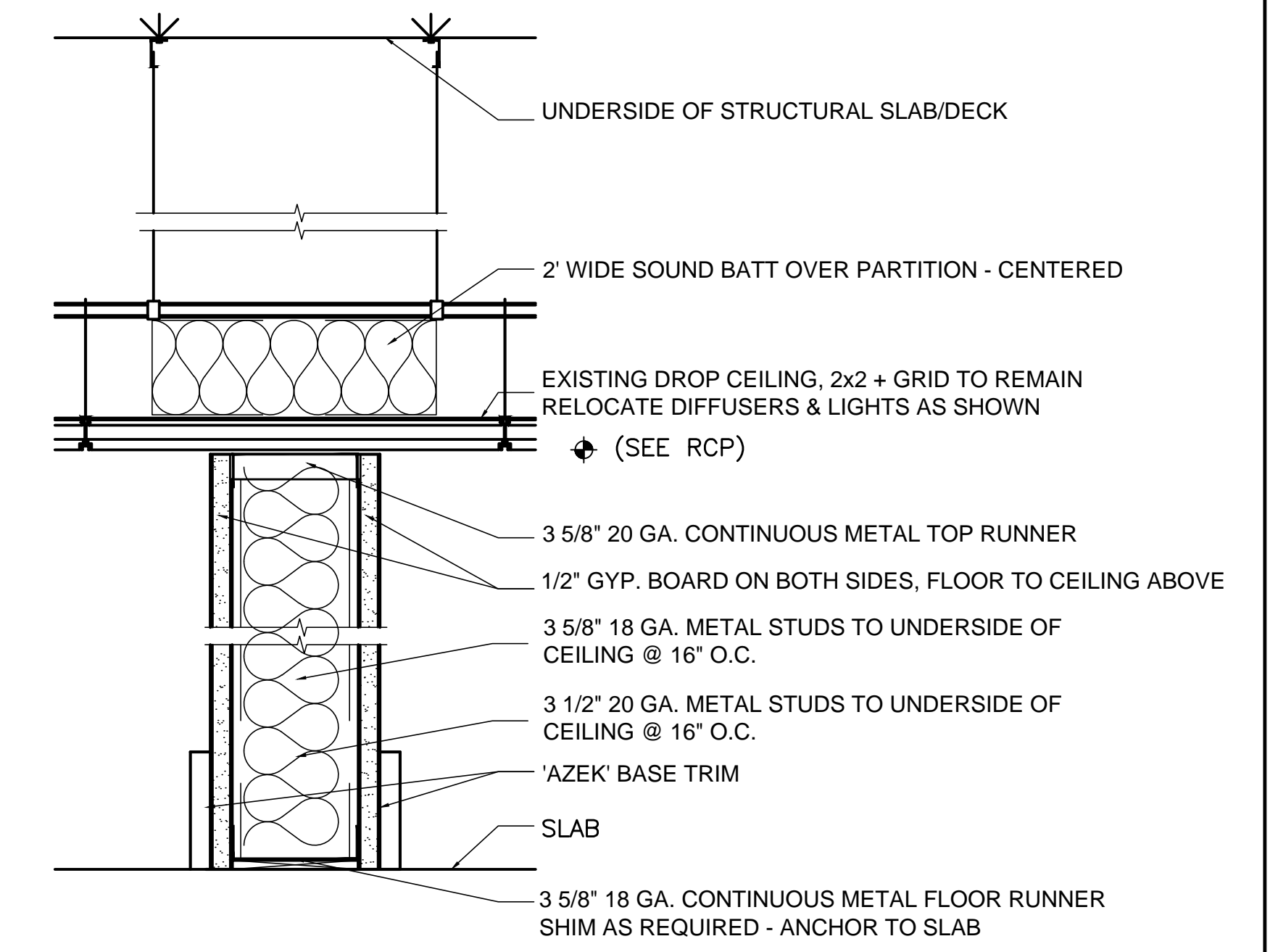
	DUPLEX RECEPTACLE		TELEPHONE JACK
	GROUND FAULT INTERRUPT DUPLEX RECEPTACLE		CABLE TV JACK
	QUAD RECEPTACLE		
	WATERPROOF DUPLEX RECEPTACLE		
	DUPLEX RECEPTACLE ON DEDICATED CIRCUIT		

REFLECT. CEILING SYMBOLS LEGEND

'R'	DENOTES RELOCATED EXISTING		CEILING MOUNTED SMOKE/CO DETECTOR
'N'	DENOTES NEW (SPEC. TO FOLLOW)		WALL MTD. THERMOSTAT
	SINGLE POLE SWITCH 'D' DENOTES DIMMABLE		WALL MTD. FIRE ALARM
	EXISTING 2'-0"x2'-0" CEILING GRID TO REMAIN		WALL MTD. FIRE PULL-BOX
	EXISTING 2'-0" X 2'-0" HVAC DIFFUSER		WALL MTD. FIRE EXTINGUISHER
	2'-0"x2'-0" RECESSED LIGHT FIXTURE. 'N' DENOTES NEW		WALL MTD. SECURITY
	EXISTING PENDENT LIGHT FIXTURE		WALL MOUNTED EMERGENCY LIGHT
	NEW DIMMABLE WALL SCONCE FIXTURE		EXIT SIGN BY SURE-LITES, CAX SERIES (SIGNS WILL BE CONNECTED TO THE 227/EMERGENCY POWER SOURCE).



DEMO./CONST./ELEC. PLAN
Scale: 1/4"=1'-0"



INTERIOR WALL DETAIL
Scale: 1"=1'-0"

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phone: 732-739-2684 fax: 732-739-0837			