

proposed renovations for VIA RIPA PROPERTIES L.L.C

16 VIA RIPA
SEABRIGHT, NEW JERSEY
BLOCK 31 ~ LOT 6

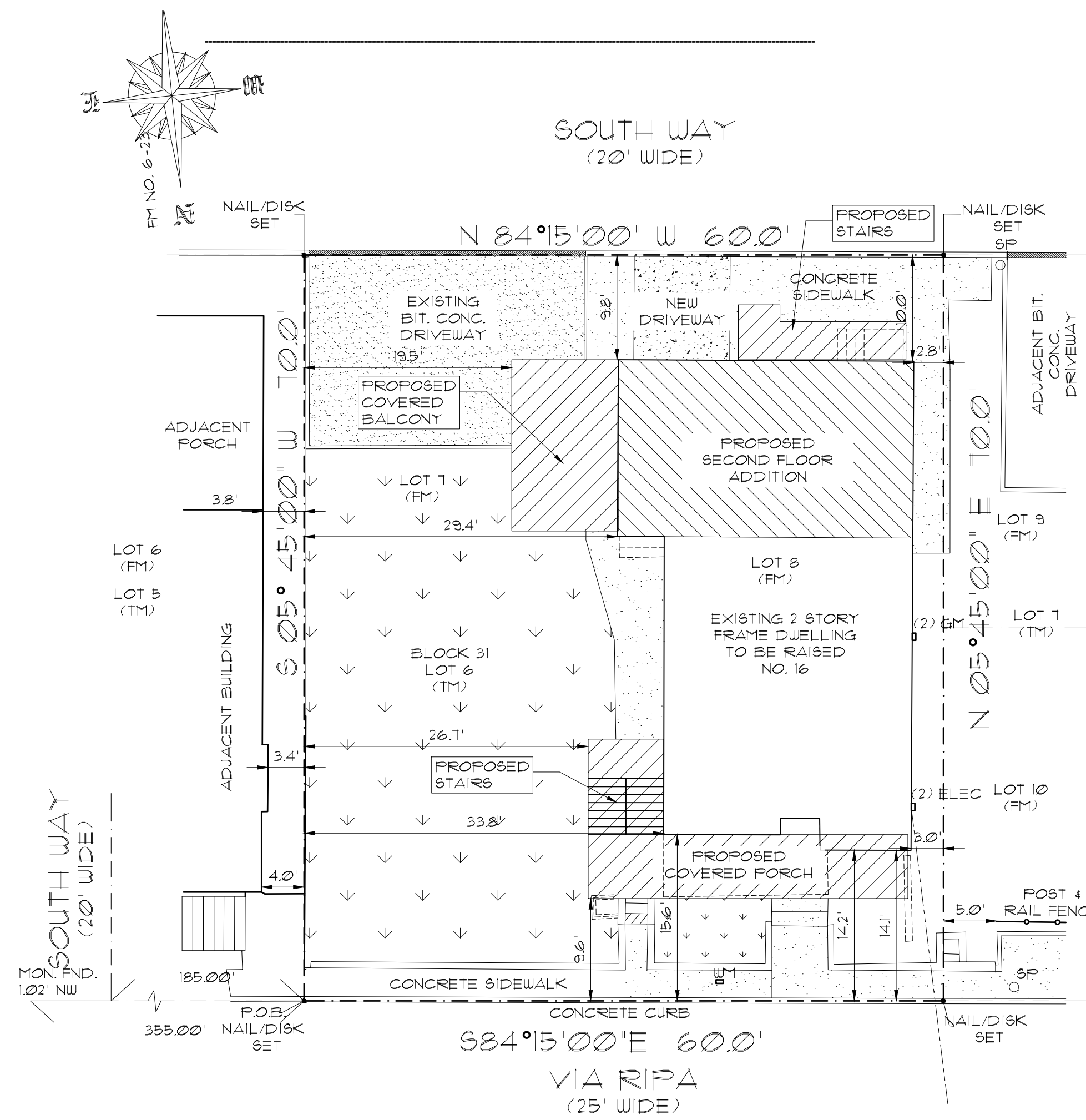
ZONING DATA (R-2)				
ITEM	REQUIRED	EXISTING	PROPOSED	NOTES
MINIMUM LOT AREA	4,000 SQ. FT.	4,200 SQ. FT.	4,200 SQ. FT.	
MINIMUM LOT FRONTAGE	50 FT.	60 FT.	60 FT.	
MINIMUM LOT DEPTH	60 FT.	70 FT.	70 FT.	
PRINCIPAL BUILDING				
MINIMUM FRONT SETBACK (VIA RIPA)	25 FT.	14.1 FT.	9.6 FT.	VARIANCE REQUIRED
MINIMUM FRONT SETBACK (SOUTH WAY)	25 FT.	9.8 FT.	9.8 FT.	VARIANCE REQUIRED
MINIMUM SIDE SETBACK (ONE/BOTH)	7/15 FT.	2.8/32.3 FT.	2.8/22.3 FT.	EXISTING NON CONFORMITY VARIANCE REQUIRED
MAX. BUILDING HEIGHT (STORIES/FT.)	2.5/30 FT.	2.0/23 FT.	2.0/30.4 FT.	
MINIMUM GROUND FLOOR AREA	880 SQ. FT.	1,116 SQ. FT.	1,116 SQ. FT.	
MAXIMUM BUILDING COVERAGE	50 %	26.57 %	36.09 %	
MAXIMUM LOT COVERAGE	70 %	59.33 %	61.07 %	

BUILDING DEPARTMENT DATA	
FIRST FLOOR	1,116 SF
SECOND FLOOR	1,116 SF
TOTAL	2,232 SF

* NOTE: SQUARE FOOTAGE DATA NOT TO BE USED FOR CALCULATING CONSTRUCTION COSTS

EXISTING AREA CALCULATIONS (BASED ON LOT AREA OF 4,200 SQ. FT.)	
BUILDING COVERAGE:	LOT COVERAGE:
DWELLING = 1,116 SF.	DWELLING = 1,116 SF.
FRONT PORCH = 239 SF.	PORCH = 93 SF.
DRIVEWAY = 479 SF.	DRIVEWAY = 479 SF.
WALKS/PATIOS = 804 SF.	WALKS/PATIOS = 804 SF.
TOTAL = 1,116 SF.	TOTAL = 2,492 SF.
26.57%	59.33%

PROPOSED AREA CALCULATIONS (BASED ON LOT AREA OF 4,200 SQ. FT.)	
BUILDING COVERAGE:	LOT COVERAGE:
DWELLING = 1,116 SF.	DWELLING = 1,116 SF.
FRONT PORCH = 239 SF.	FRONT PORCH = 239 SF.
REAR PORCH = 161 SF.	REAR PORCH = 161 SF.
DRIVEWAY = 509 SF.	DRIVEWAY = 509 SF.
WALKS/PATIOS = 540 SF.	WALKS/PATIOS = 540 SF.
TOTAL = 1,565 SF.	TOTAL = 2,565 SF.
36.09%	61.07%



SITE PLAN
SCALE: 1" = 10'-0"



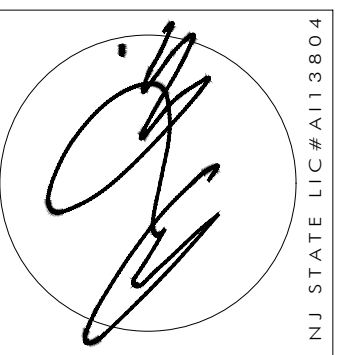
200 FEET MAP
SCALE: 1" = 10'-0"

ANY NEW GUTTERS AND LEADERS SHALL FLOW TO STREET AND NOT THE REAR AND SIDES OF THE PROPERTY

CURB AND SIDEWALK TO BE RECONSTRUCTED IF DAMAGED DURING CONSTRUCTION

CHAIRMAN _____
SECRETARY _____
BOARD ENGINEER _____

NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO THE START AND COMPLETION OF WORK.

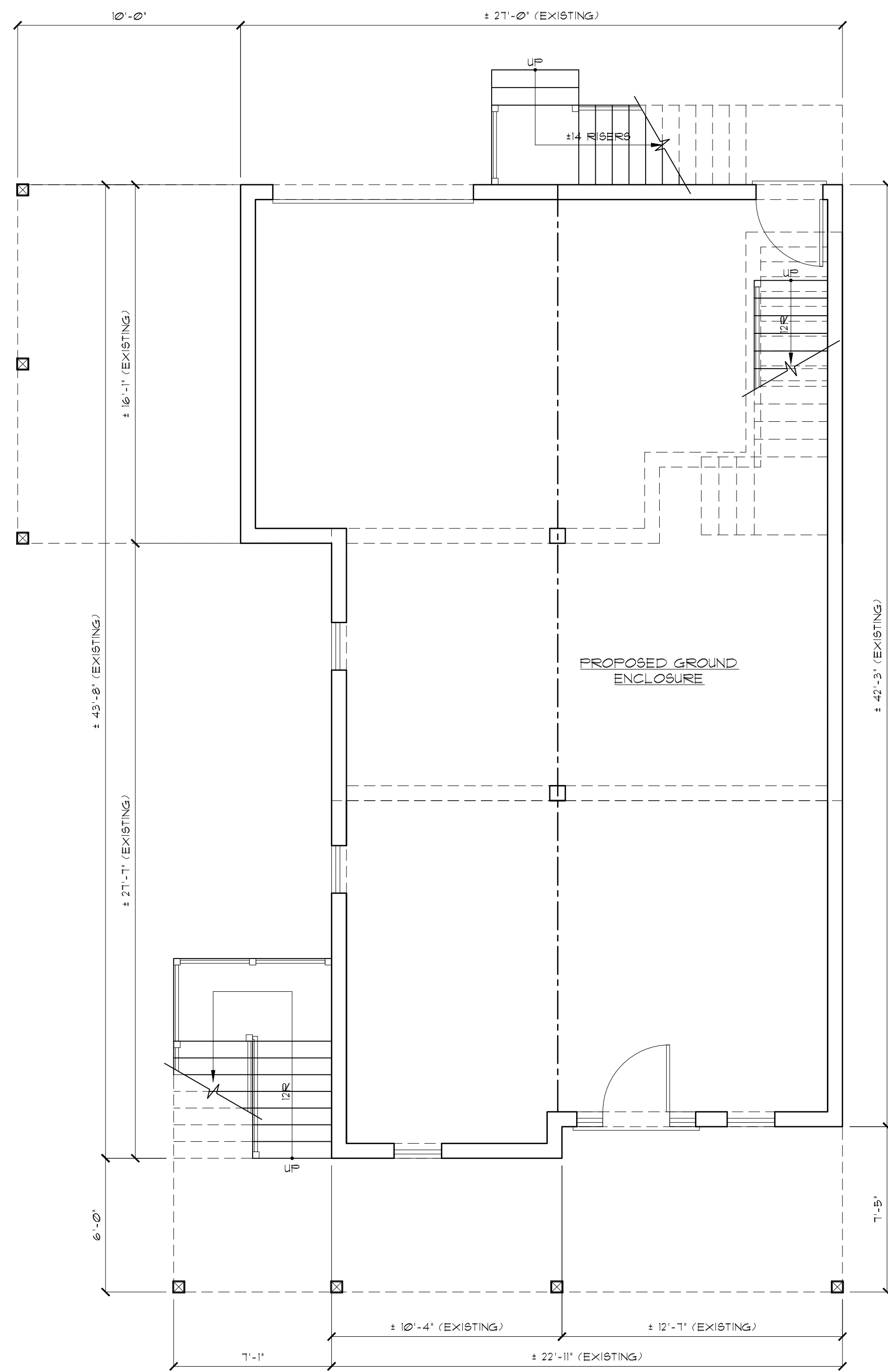


ANTHONY M. CONDO ARCHITECT
20 BINGHAM AVENUE, SUMMONS NJ 07760
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REVISIONS	DATE

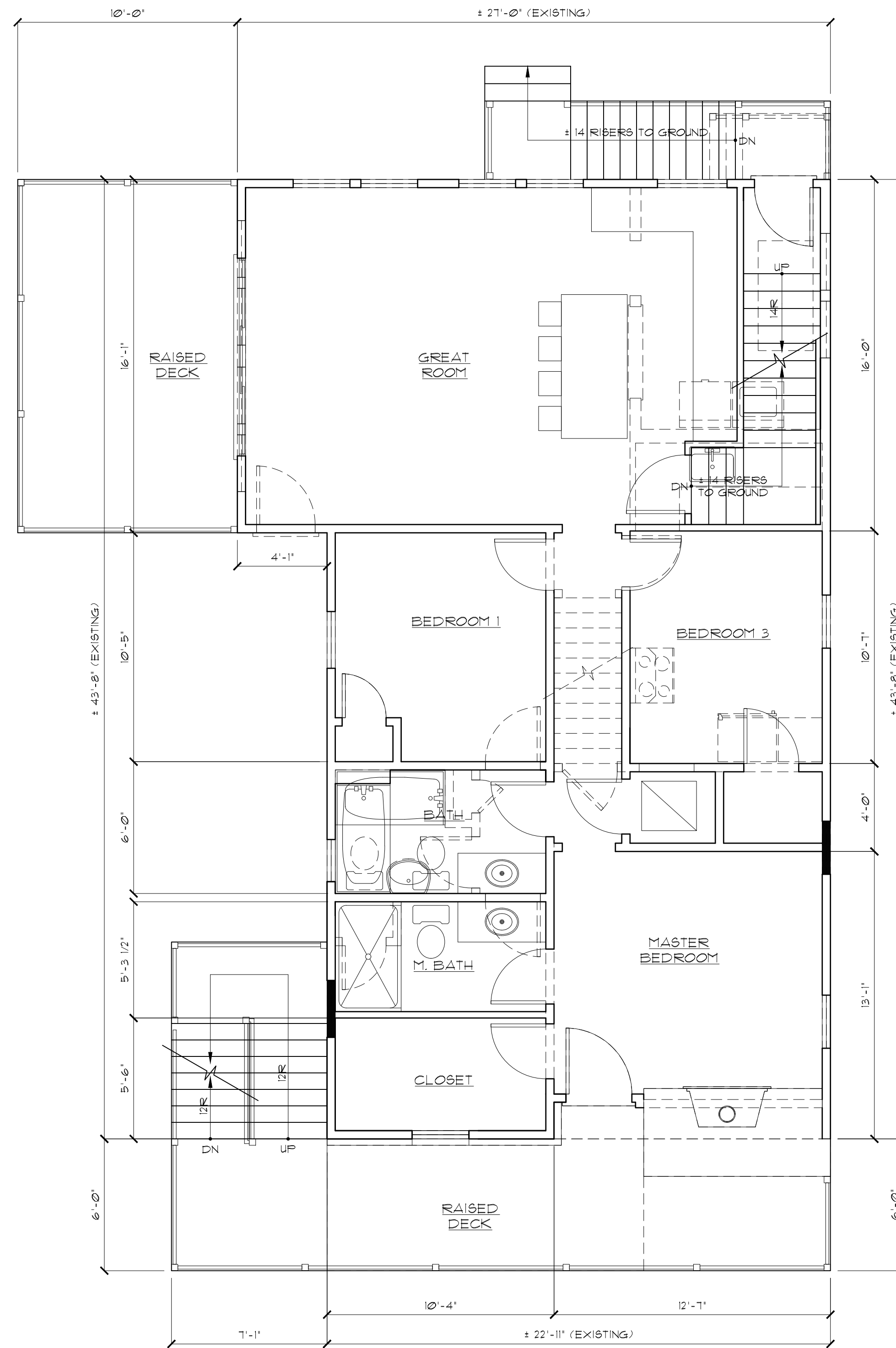
CLIENT: VIA RIPA PROPERTIES L.L.C
ADDRESS: 16 VIA RIPA SEABRIGHT, NEW JERSEY
JOB NUMBER: 22-096
LOT: 6
BLOCK: 31

DATE: 06/01/23
DRAWN BY: JM
SHEET NO.: V-1



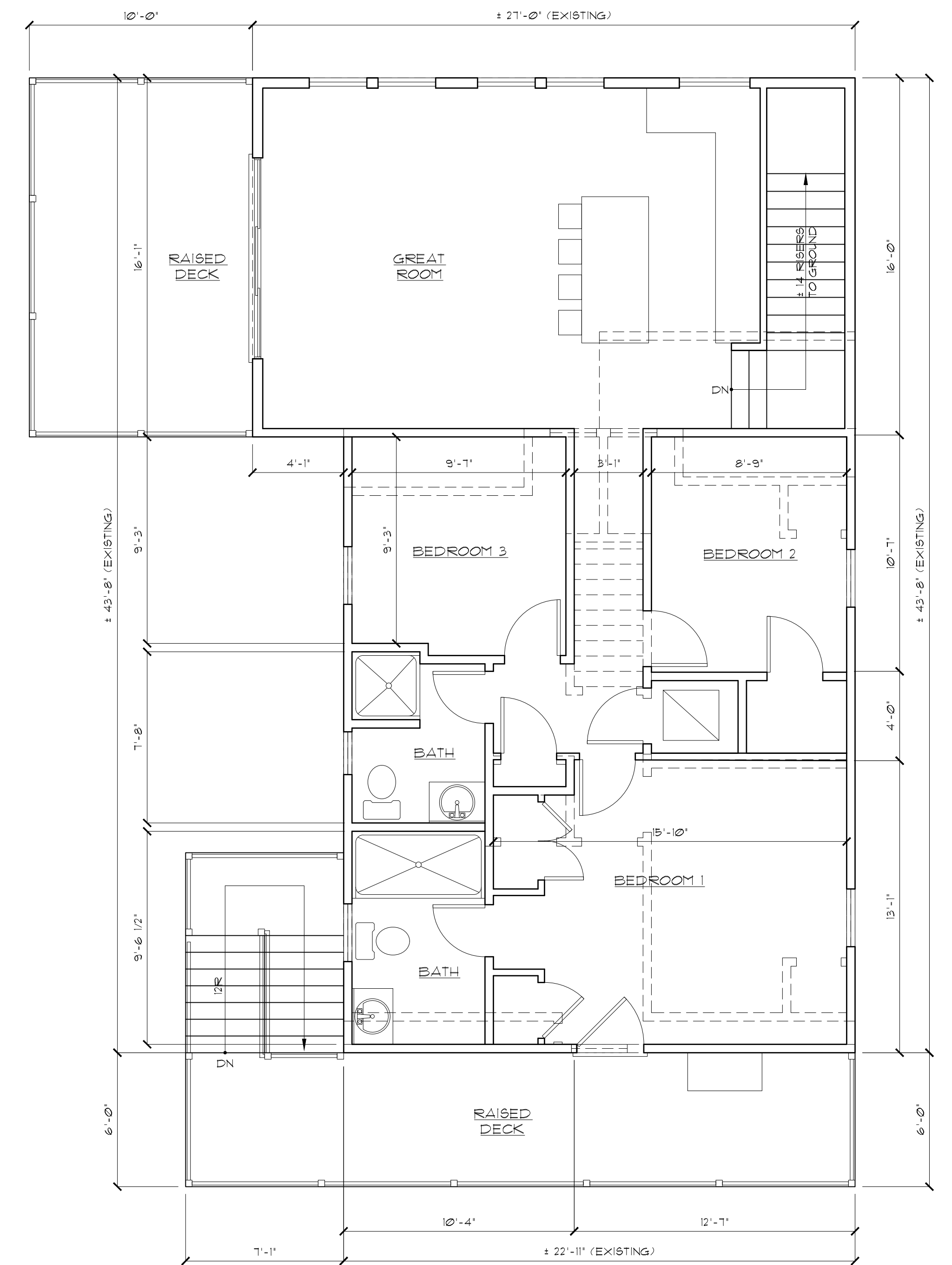
GROUND ENCLOSURE PLAN

SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN

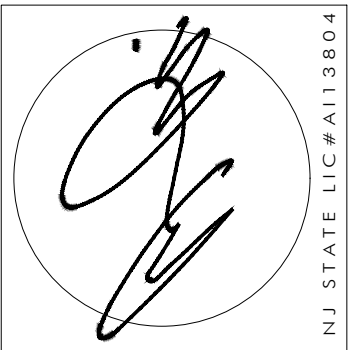
SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

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REVISIONS	DATE

CLIENT	VIA RIPA PROPERTIES L.L.C.
ADDRESS	16 VIA RIPA SEABRIGHT, NEW JERSEY
JOB NUMBER	22-096
BLOCK	21
LOT	T 4 B

DATE	06/01/23
DRAWN BY	JM
SHEET NO.	V-2



LEFT SIDE ELEVATION
SCALE: 3/16" = 1'-0"



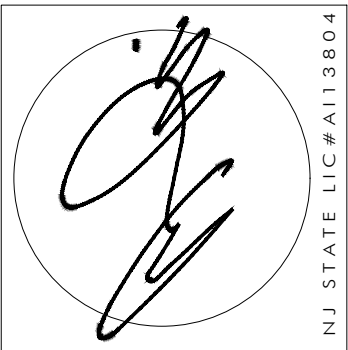
FRONT ELEVATION (VIA RIPA)
SCALE: 3/16" = 1'-0"



RIGHT SIDE ELEVATION
SCALE: 3/16" = 1'-0"



REAR ELEVATION (SOUTH WAY)
SCALE: 3/16" = 1'-0"



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SHEET NO.	V-3

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