



**CAFRA NOTES:**

- ALL PROPOSED GARAGE FLOORS ARE TO BE USED FOR PARKING OF VEHICLES, BUILDING ACCESS, AND STORAGE ONLY.
- THE GARAGE FLOOR ELEVATIONS ARE AT OR ABOVE THE ADJOINING EXTERIOR GRADE ALONG AT LEAST ONE ENTIRE EXTERIOR WALL, PROVIDING POSITIVE DRAINAGE OF THE ENCLOSED AREA.
- ALL PROPOSED GARAGE FLOORS WILL BE CONSTRUCTED WITH PERMANENT FLOOD OPENINGS IN COMPLIANCE WITH THE REQUIREMENTS OF THE UNIFORM CONSTRUCTION CODE N.J.A.C. 5:23.
- NO BUILDING OR PORTION OF BUILDING IS LOCATED WITHIN A V ZONE.
- ALL BUILDING'S FOUNDATION WILL BE IN COMPLIANCE WITH THE UNIFORM CONSTRUCTION CODE AT N.J.A.C. 5:23.
- THE BUILDINGS FOUNDATION WILL BE DESIGNED TO MINIMIZE FORCES ACTING ON IT, MINIMIZE DAMAGES TO THE FOUNDATIONS AND ELEVATED STRUCTURES, AND TO ADEQUATELY TRANSFER ALL LOADS IMPOSED ON THE FOUNDATION AND ELEVATED STRUCTURES TO THE SUPPORTING SOILS.
- THE INVERT OF THE LOWEST HORIZONTAL STRUCTURAL MEMBER OF THE HABITABLE FLOOR IS ELEVATED A MINIMUM OF 1' ABOVE THE REGULATORY FLOOD HAZARD ELEVATION.
- WALLS OF THE GARAGE FLOORS TO BE CONSTRUCTED OF NON-LOAD BEARING ELEMENTS, SUCH AS BREAKAWAY WALLS.
- FLOOD OPENINGS WILL BE INSTALLED INTO THE BREAKAWAY WALLS TO ALLOW AUTOMATIC ENTRY AND EXIT OF FLOODWATERS DURING FLOOD CONDITIONS, ON A MINIMUM OF TWO (2) WALLS AND THAT THERE ARE SUFFICIENT NUMBER OF VENTS FOR THE PROPOSED SQUARE FOOTAGE OF ENCLOSED AREA.
- ALL GARAGE AREAS BELOW THE FLOOD HAZARD ELEVATION TO MEET ALL APPLICABLE FLOOD PROOFING REQUIREMENTS IN ACCORDANCE WITH N.J.A.C. 7:13-12.5.
- THE GARAGE FLOOR OF ALL PROPOSED BUILDINGS ARE LIKELY TO BE INUNDATED BY FLOODWATER, WHICH MAY RESULT IN DAMAGE AND/OR INCONVENIENCE.
- THE FEMA 100-YEAR FLOOD ELEVATION ON THE PROJECT AREA IS EQUAL TO 8.0. THE MINIMUM PROPOSED GARAGE FLOOR IS AT ELEVATION 5.0. THE GARAGE FLOOR, THE FIRST FLOOR ELEVATION (HABITABLE FLOOR) IS AT ELEVATION 14.50 OR GREATER.
- THE GARAGE FLOOR SHALL NOT BE HABITATED, IF THE GARAGE FLOOR IS CONVERTED INTO A HABITABLE AREA, THE PROPERTY OWNERS MAY BE SUBJECT TO ENFORCEMENT UNDER N.J.A.C. 7:13-12.5.
- ALL PROPOSED ENCLOSED AREAS BELOW THE FLOOD HAZARD ELEVATION WILL COMPLY WITH THE FLOOD PROOFING REQUIREMENTS IN ACCORDANCE WITH N.J.A.C.7:13-12.5.

**LANDSCAPE NOTES**

- All plant material to meet A.A.N. Standards for size and quality.
- This is not a construction plan; it is intended for approximate location of plants only.
- Landscape contractor must conform to applicable Borough ordinances pursuant to each Township's jurisdiction.
- All plant material shall be tagged at the nursery indicating scientific name, common name, variety and size. All plant material is to conform to the American Standard for Nursery Stock, ANSI Z60.1, latest edition. All shade trees are 2-1/2" to 3" minimum at a height of one (1) foot above the root ball.
- Responsibilities for installation and maintenance of plantings shall be arranged between owner and landscape contractor.
- All substitutions shall be submitted to the township engineer for review and approval prior to installation.
- Irrigation systems are not included on the plans at this time. However, lawns & shrub areas will be irrigated. Underground sprinkler systems shall be provided in all sodded areas and in all formal landscaped areas along the bulkhead subject to the approval of the Borough planner.
- All areas which are to be left in a natural state shall be seeded and all other areas are to be sodded.
- All plants to be planted as per planting details. Trees above 2-inch caliper to be guyed and staked parallel to street and as per detail. Stakes must be milled hardwood lumber, small tree trunks or branches are not a suitable substitute.
- Set plants such that after settlement plants shall bear the same relation to finished grade as to previous existing grade. Remove platforms, wire and binding from top and sides of ball, but do not remove burlap from under ball. Fill pit to finish grade, thoroughly soak and repeat filling until all settlement has taken place.
- In the event that discrepancies occur between the quantities of plants indicated on the Plant Schedule and those graphically depicted on the plans, the plant quantities indicated on the plan shall supersede.
- On all regraded surfaces, contractor shall provide a minimum of four inch even even cover of topsoil to all disturbed areas of the development.
- All shrub planting beds shall be rotolilled and pH adjusted (where necessary) and fertilized. All planting beds shall provide for weed protection in the form of a pre-emergent herbicide and/or filter fabric. Non-porous black plastic material shall not be utilized. Mulch all trees and shrubs with a minimum of 4" of double shredded bark mulch. Where bedding is not indicated, mulch individual saucers. Shrub plantings are in a planting bed and defined by a 3" deep edge.
- All plant material to be guaranteed for two (2) years following installation and replaced in kind. All plant material shall be warranted by the Contractor to be in vigorous growing condition. Provision shall be made for a growth guarantee of one year. In the event the project is a public improvement or under the jurisdiction of public agency, the growth guaranty shall be that which is governed by the Developer's Agreement of provided otherwise on the plans. Plants shall be replaced if dead, not showing active and vigorous growth or otherwise in poor condition. Replacement shall be made at the beginning of the first succeeding planting season and all replacements shall have a growth guaranty equal to the stated above.

Prior to the Owner's inspection and acceptance or rejection of the work, the Contractor shall prepare a written maintenance schedule for the first year for the Owner. The maintenance shall provide sufficient information as to water, fertilizing and other horticultural practices or methods to adequately establish, nurture and grow the plants for the first year. Should the Owner elect to retain the contractor for the purposes of maintenance the plants for the first year the requirement of a written maintenance schedule submission is deleted, however, the plant growth guaranty still is in place.

The Contractor is advised to periodically check if the Owner is following the maintenance schedule and it is suggested that incomformities be directed in writing to the Owner.

- Site contractor should examine all engineering and field conditions for exact locations of utilities, driveways, drains, swales, etc., and adjust planting accordingly. All trees shall be located five (5) feet from utilities. The contractor shall call N.J. underground utility location service a minimum of three days prior to any excavations. The contractor is advised of the existence of underground utilities on the site. Their exact location shall be verified in the field with the owner or general contractor prior to commencement of any digging operations. In the event they are uncovered, the contractor shall be held responsible for all damage to utilities and such damage shall not result in any additional expenses to the owner. Any damage of unreported lines shall not be the responsibility of the contractor.

- Thoroughly water each plant immediately following planting by Contractor. Plants shall be thoroughly watered once a week for three weeks following installation. If plants are installed during the growing season (warm weather conditions), additional watering may be necessary and its additional cost must be discussed with the Developer after the first three waterings are completed. Developer shall hire Contractor for watering as needed and until Homeowners Association takes over site.

- All plants shall be neatly pruned or clipped to preserve the natural character of the plants and in a manner appropriate to the particular requirements of each plant and to the satisfaction of the Landscape Architect. No plants shall be pruned or clipped prior to delivery except with the permission of the Landscape Architect. The central leader of all trees should never be removed. Broken or badly bruised branches shall be removed with a clean cut. All pruning shall be done with sharp tools. Cuts over 2" in diameter shall be painted over with an approved tree paint.

- The trunks of all shade trees shall be chemically treated for borers for the first year. Contractor shall use an insecticide recommended by the Soil Conservation District.
- Acer Rubrum, Quercus species, Tilia tomentosa, zelkova, liquidambar, crataegus, Betula species, and Cornus florida trees are not to be planted during the Fall season.

- All disturbed non-residential areas and planting areas to be topsoiled four (4) inches (minimum) fine graded, fertilized, limed, strowed, seeded and hydrolocked at the following rates:

Fertilizer – 10–6–4 50% organic  
 100 lbs./1,000 square feet  
 Lime – 100 lbs./1,000 square feet  
 Permanent Seed – See Soil Erosion Notes for other types of seed

These specific seed mixtures shall be utilized within the following disturbed areas,  
 Individual Lots (seed or sod): 40% Kentucky Bluegrass, 40% Chewing Fescue, and 20% Perennial Ryegrass at a rate of five (5) lbs./1,000 sf (substitutions approved by developer) and Middlesex County and Freehold Soil District).

Basin Slopes and Bottoms: 55% Clemfine Tall Fescue, 20% Kentucky Bluegrass, 10% Perennial Ryegrass, 5% Alsike Clover, 5% Straker Redtop, and 5% Poo trivialis at a rate of 5lbs./1,000 sf.

Wetlands and Transition Areas: 100% Streaker Redtop at a rate of 1.8 lbs./1,000 sf.

Common Areas (other than above): 90% Rebel Tall Fescue and 10% Kentucky Bluegrass at a rate of seven (7)lbs./1,000 sf.

Hydrmulch – For tack of straw 10–20 lbs./1,000 square feet.

- All lawn areas to have a uniform stand of sod.
- Sod to be used for rapid establishment must be watered by irrigation.
- Refer to other general notes on plans that will also relate to landscaping issues such as, tree protection, clearing limits, soil stabilization, etc.
- Wire baskets to be removed prior to backfilling the planting pit.
- All plant relocation's shall be submitted to the township engineer for review and approval prior to installation.
- All retaining walls over 30" high must have a 2–roll white PVC fence or equal and hand rails along bulkhead.

**GENERAL NOTES:**

- The proposed project complies with the Borough of Sea Bright requirements.
- The State Planning Area Designation of the subject tract has been determined to be a PA #42 Rural Environmentally Sensitive.
- Individual lots for development must satisfy the Borough Construction Official that each separate lot for development for which a dwelling with a basement proposed may be so developed in accordance with all applicable rules, requirements and codes.
- The developer shall maintain all temporary soil erosion and sediment control measures throughout the construction of the project. Said maintenance shall include but not be limited to the cleaning and reestablishment of sediment control barriers, silt fencing, inlet protection, etc., where determined necessary by the Borough Engineer.
- A Plot Plan will be provided that will detail exact home footprint and driveway the time of building permit.
- BULK REQUIREMENTS: (SEE COVER SHEET)**  
 Total number of units is 44 consisting of 4 Single Family Units, 25 Multi Family Townhouses & 15 Condominium units. Total square footage is 35,326.
- Outbound and Topographic information based upon a survey performed by Landmark Surveying and Engineering, Dated February 28, 2018.
- Additional topography information based upon NAVD 1988 Datum prepared by WJH Engineering by Leica GPS survey equipment. New field topography was obtained along the street frontage in order to supplement.
- Freshwater wetlands are not located on site.
- Storm Sewer pipe to be ASTM C76-61 CLASS IV RCP unless otherwise indicated. Inlets to be N.J.D.O.T. TYPE "B" unless otherwise indicated if used.
- Storm Manholes to be four (4) feet diameter standard unless otherwise indicated. All curb inlets to have bicycle safe grates.
- Length of pipe noted for storm sewer is from center line to centerline of structure unless otherwise indicated.
- Roof Drains will connect to storm water system.
- Public water and sewer available.
- All construction materials shall conform to Borough specifications as stated in the Land Use Ordinances
- All Traffic Control Signage and Striping shall conform to the MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST REVISION, AND PUBLISHED BY THE U.S.D.O.T., if so required.
- All new utilities to be constructed underground.
- FF is the First Floor, GF is the Garage Floor, and BF is the Basement Floor, which is the lowest floor in the building which is set at two (2) feet above Seasonal High Water Table. Basement Floor elevation equals first floor elevation minus 9 feet. Seasonal High Water Table shall be reviewed again at the time of excavation of the basement area and any discrepancies reported to the site engineer and/or developer.
- All existing structures, appurtenances and debris will be removed from the site in accordance with all solid waste disposal standards and Health Department Regulations.
- All construction shall comply with the current Rules and Regulations of the NJDEP, Public Works Dept., Monmouth County Board of Health and all other applicable regulatory agencies.
- For all storm crossings where clearance between the where clearance between the water and storm drain is less than 18 inches, pier supports for the storm line shall be provided in order to prevent load transfers to the affected utility.
- All disturbed areas are to be graded and stabilized at a minimum of 2% slope or 3:1 maximum and 1% minimum for roadways & driveways.
- Representative soil logs provided for the project site were not prepared by WJH ENGINEERING.
- The location of stockpiles to be determined at the time of construction. Stockpiles shall be stabilized in accordance with the Soil Erosion and Sediment Control Standards of New Jersey.
- CONTRACTOR SHALL NOTIFY WJH, IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED ON THESE PLANS, AND/OR IF SUCH CONDITIONS, IN THE CONTRACTOR'S OPINION, WOULD RENDER THE DESIGNS SHOWN ON THESE PLANS INAPPROPRIATE OR INEFFECTIVE.
- The existing utility information shown on these plans has been obtained from a variety of sources and is not guaranteed as to accuracy or completeness. The contractor shall verify to his own satisfaction prior to excavation of the horizontal and vertical alignment of all existing utilities in the areas of the proposed excavation and proposed utility crossings. The contractor shall call for utility mark out at 1-800-272-1000 prior to any soil disturbance or excavation.
- The site is situated outside of flood boundaries as shown on Flood Insurance Rate Map as Zone AE-8, (FIRM) MAP PANEL 34025C0201G of the Borough of Sea Bright, dated 6/20/18.
- SCS Standards will be utilized in order to control sediment erosion.
- The Applicant is required to maintain all temporary Soil Erosion and Sediment Control measures throughout the construction project. Said maintenance shall include but not be limited to the cleaning and re-establishment of sediment control barriers, silt fencing, inlet protection, etc. where determined to be necessary by the Freehold Soil Conservation District.
- Waste Management to be provided by the Public Works Dept. in the form of curbside pickup. Multi Family with inside trash storage will be a private contractor.
- Parking requirements – All residential Single Family lots provide 2 spaces in the garage (possibly 4 spaces in some model homes). All other unit types provide 2 spaces inside the garage or parking garage.
- All lands proposed for dedication to the Township will be subject to the requirements of Sea Bright Council, if agreed to.

**TREE COVERAGE AND TREE PROTECTION NOTES**

- There are no existing forest systems on site.
- There were no observed specimens as defined as to being plants reaching a size of the known largest example of the plant in the state.

**DRAINAGE NOTES**

- Any crawl space slab or basement slab shall be a minimum of 2.0 foot above the seasonal high water table and a sump pump shall be provided.

**FIRE PROTECTION NOTES**

- Hard packed driveways must be installed before any combustibles are constructed on site.
- Contractor shall coordinate with the Bureau of Fire Prevention for any additional concerns.

NO.	DATE	DESCRIPTION	DRAWN BY
3	5/30/23	REVISED PURSUANT TO NJDEP LETTER DATED 12/5/22	KMB
2	1/31/23	ADDED MISSING LOT 22	JUL
1	7/22/22	REVISED PURSUANT TO BOROUGH COMMENTS	KMB

**PRELIMINARY MAJOR SUBDIVISION & SITE PLAN**  
 BLOCK 13 LOTS 13–18, 20, 21, 22  
 BLOCK 14 LOTS 12, 14  
 BLOCK 15 LOTS 5–12  
 BOROUGH OF SEA BRIGHT MONMOUTH COUNTY NEW JERSEY

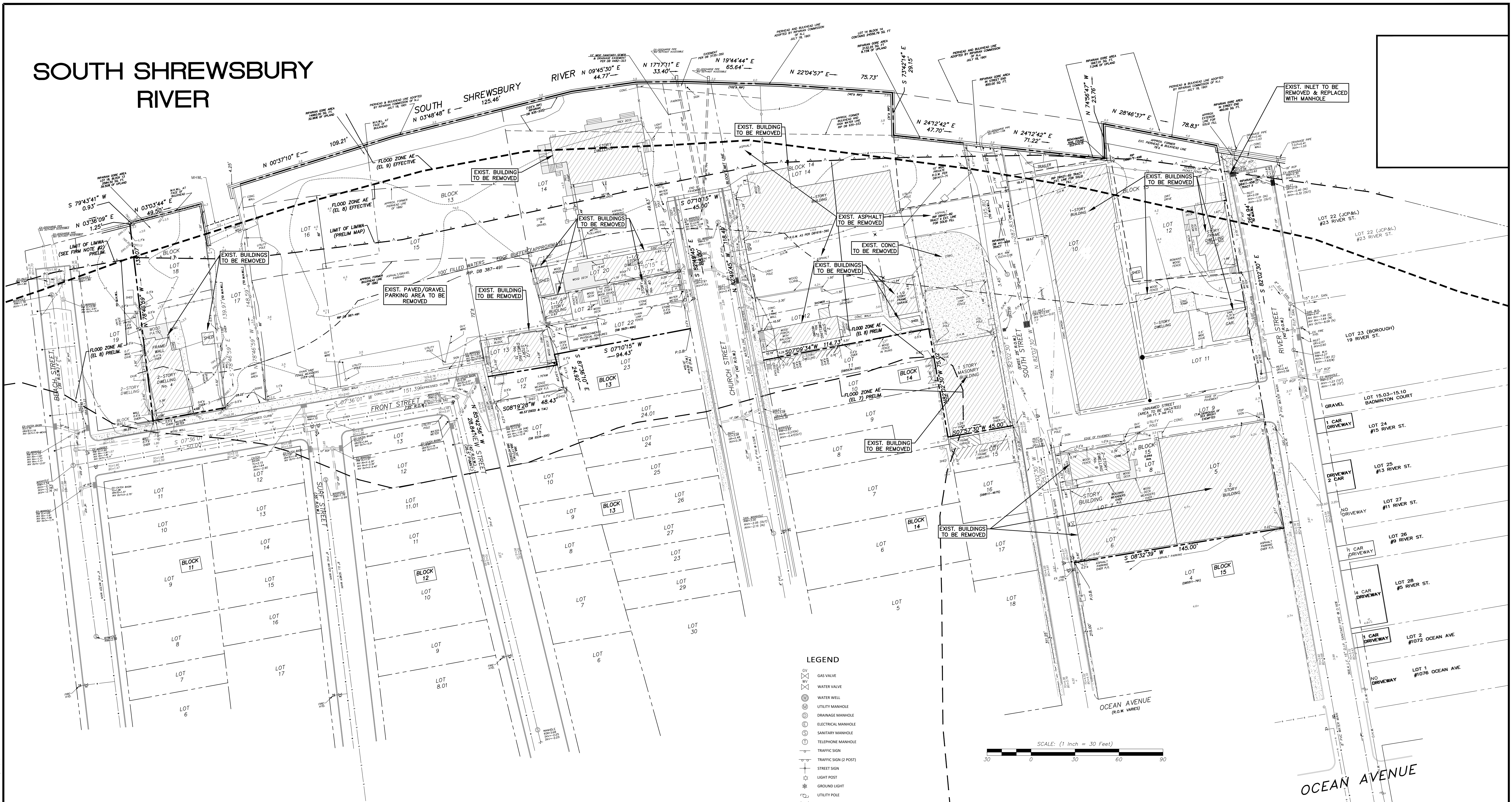
**WJH ENGINEERING**  
 CERT. OF AUTH. NO. 246A2B117300  
 257 MONMOUTH ROAD,  
 BLDG. A, STE. 7,  
 OAKHURST, NJ 07755  
 PHONE: 732-223-1313  
 WWW.WJHENGINEERING.COM

**NOTES**

**WALTER JOSEPH HOPKIN**  
 N.J. PROFESSIONAL ENGINEER  
 Date: 2023-06-07  
 09:37:27 AM

SCALE: NONE DRAWN BY: JUL DATE: 1/17/22 JOB No.: 19179A SHEET No.: 2 OF 13

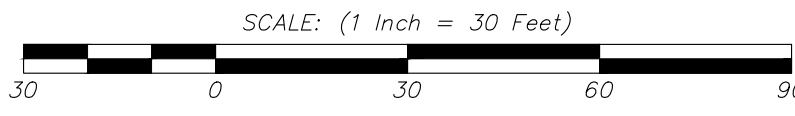
# SOUTH SHREWSBURY RIVER



**NOTE:**  
 EXISTING UTILITIES SHOWN ARE APPROXIMATE LOCATIONS. LIMITS OF UTILITIES TO BE REMOVED SHALL BE COORDINATED WITH RESPECTIVE UTILITY COMPANIES.

### LEGEND

- GAS VALVE
- WATER VALVE
- WATER WELL
- UTILITY MANHOLE
- DRAINAGE MANHOLE
- ELECTRICAL MANHOLE
- SANITARY MANHOLE
- TELEPHONE MANHOLE
- TRAFFIC SIGN
- TRAFFIC SIGN (2 POST)
- STREET SIGN
- LIGHT POST
- GROUND LIGHT
- UTILITY POLE
- FIRE HYDRANT
- DRAINAGE INLET (TYPE "A")
- DRAINAGE INLET (TYPE "B")
- DRAINAGE INLET (TYPE "E")
- DRAINAGE LINE
- ELECTRIC LINE
- GAS LINE
- SANITARY SEWER LINE
- TELEPHONE LINE
- WATER LINE
- OVERHEAD WIRES
- MONITORING WELL
- IRON/ALUMINUM PIPE FOUND
- IRON BAR FOUND
- CONCRETE MONUMENT FOUND
- SURVEY
- FILE MAP
- GAS METER
- D.C. DEPRESSED CURB
- FLUSH CURB



3	5/30/23	REVISED PURSUANT TO NJDEP LETTER DATED 12/5/22	KMB
2	1/31/23	ADDED MISSING LOT 22	JUL
1	7/22/22	REVISED PURSUANT TO BOROUGH COMMENTS	KMB
NO.	DATE	DESCRIPTION	DRAWN BY

**PRELIMINARY MAJOR SUBDIVISION & SITE PLAN**  
 BLOCK 13 LOTS 13-18, 20, 21, 22  
 BLOCK 14 LOTS 12, 14  
 BLOCK 15 LOTS 5-12  
 BOROUGH OF SEA BRIGHT MONMOUTH COUNTY NEW JERSEY

**WH ENGINEERING**  
 CERT. OF AUTH. NO. 24GA28117300  
 257 MONMOUTH ROAD,  
 BLOCK A, SUE 2,  
 OAKHURST, NJ 07755  
 PHONE - 732-223-1313  
 WWW.WHENGINEERING.COM

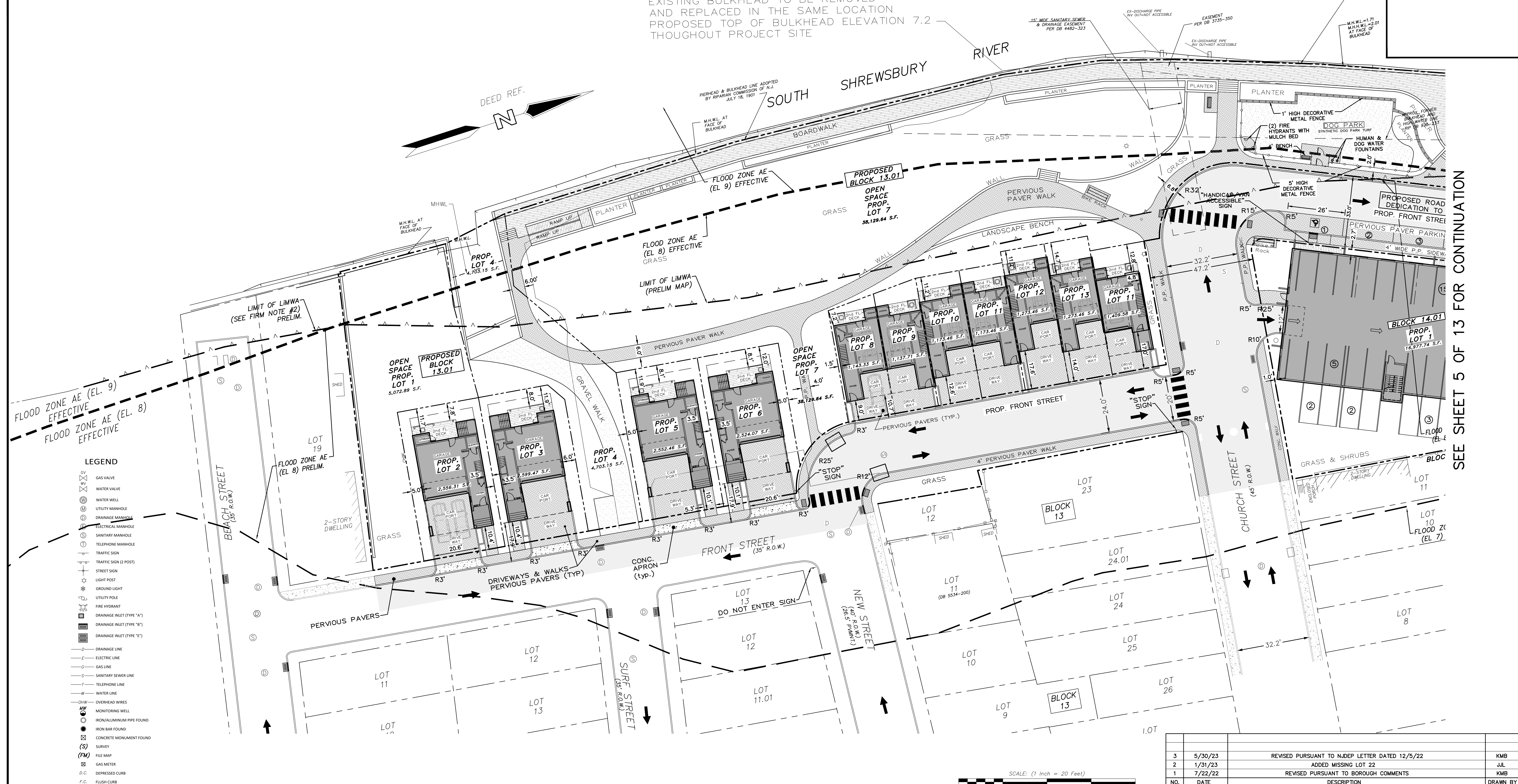
**EXISTING CONDITIONS DEMOLITION PLAN**

SCALE:	DRAWN BY:	DATE:	JOB NO.:	SHEET NO.:
1" = 30'	J.L.	1/17/22	19173A	3 OF 13

WATER JOSEPH HOPKIN  
 PROFESSIONAL ENGINEER  
 No. 10662  
 Date: 2023.06.07  
 09:37:36-0400

# SOUTH SHREWSBURY RIVER

EXISTING BULKHEAD TO BE REMOVED AND REPLACED IN THE SAME LOCATION PROPOSED TOP OF BULKHEAD ELEVATION 7.2 THROUGHTOUT PROJECT SITE



SEE SHEET 5 OF 13 FOR CONTINUATION

NO.	DATE	DESCRIPTION	DRAWN BY
3	5/30/23	REVISED PURSUANT TO NJDEP LETTER DATED 12/5/22	KMB
2	1/31/23	ADDED MISSING LOT 22	JUL
1	7/22/22	REVISED PURSUANT TO BOROUGH COMMENTS	KMB

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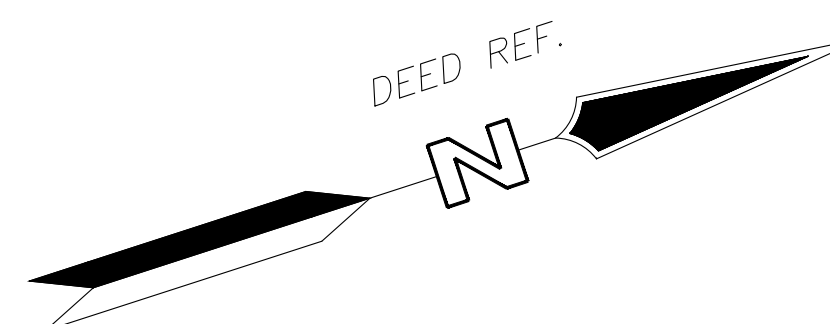
**WH ENGINEERING**  
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 257 MONMOUTH ROAD,  
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 OAKHURST, NJ 07755  
 PHONE: 732-223-1313  
 WWW.WHENGINEERING.COM

**WALTER JOSEPH HOPKINS**  
 N.J. PROFESSIONAL ENGINEER, LIC. No. 40673  
 Date: 2023.06.07

SCALE	DRAWN BY	DATE	JOB No.	SHEET No.
1" = 20'	JUL	1/17/22	19179A	4 OF 13

W:\Projects\19179 - Haven at Sea Bright\19179A - Dimension\19179A - Dimension\19179A - Design\Drawings\SITE BADE.dwg 6/5/2023 5:28:23 PM

# SOUTH SHREWSBURY RIVER

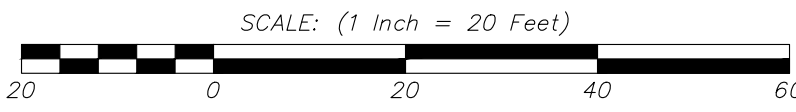


Unit Type	Number	RSIS Requirement/unit	RSIS Required	Redevelopment Plan Requirement (2.0/unit)	Provided
Single Family Detached	4	2.5	10	8	14*
3 BR					
Townhouse	25	2.4	60	50	50**
3 BR					
Condo					
1 BR	3	1.8	5.4	6	
2 BR	6	2.0	12	12	
3 BR	6	2.1	12.6	12	
			30	30	30
Additional Parking					15***

\* Pursuant to RSIS, a 2-car garage and a driveway greater than 18' is credited for 3.5 spaces / unit.  
 \*\* Each townhouse has either a 2-car garage or a 1 car garage with a driveway / carport. This accounts for 50 spaces.  
 \*\*\* An additional 9 are available in the condo parking garage. An additional 6 are available along the private H.O.A driveway North of Block 15, Lot 4, between River and South Street.

**LEGEND**

- GAS VALVE
- WATER VALVE
- WATER WELL
- UTILITY MANHOLE
- DRAINAGE MANHOLE
- ELECTRICAL MANHOLE
- SANITARY MANHOLE
- TELEPHONE MANHOLE
- TRAFFIC SIGN
- STREET SIGN (2 POST)
- LIGHT POST
- GROUND LIGHT
- UTILITY POLE
- FIRE HYDRANT
- DRAINAGE INLET (TYPE 'A')
- DRAINAGE INLET (TYPE 'B')
- DRAINAGE INLET (TYPE 'C')
- DRAINAGE LINE
- ELECTRIC LINE
- GAS LINE
- SANITARY SEWER LINE
- TELEPHONE LINE
- WATER LINE
- OVERHEAD WIRES
- MONITORING WELL
- IRON/ALUMINUM PIPE FOUND
- IRON BAR FOUND
- CONCRETE MONUMENT FOUND
- SURVEY
- FILE MAP
- GAS METER
- DEPRESSED CURB
- FLUSH CURB



NO.	DATE	DESCRIPTION	DRAWN BY
4	5/30/23	REVISED PURSUANT TO NJDEP LETTER DATED 12/5/22	KMB
3	1/31/23	ADDED MISSING LOT 22	JLL
2	9/28/22	CONDO. BLDG.-INCREASED TRASH ROOM-PARKING LOT CHANGES, ELIMINATE VARIANCES	JLL
1	7/22/22	REVISED PURSUANT TO BOROUGH COMMENTS	KMB

**PRELIMINARY MAJOR SUBDIVISION & SITE PLAN**  
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**WH ENGINEERING**  
 CERT. OF AUTH. NO. 24GA28117300  
 257 MONMOUTH ROAD,  
 BLDG. A, STE. 7,  
 OAKHURST, NJ 07755  
 PHONE-732-229-1313  
 WWW.WHENGINEERING.COM

**DIMENSION PLAN**  
 WALTER JOSEPH HOPKIN  
 N.J. PROFESSIONAL ENGINEER No. 20240607  
 Date: 2024.06.07

SCALE: 1" = 20'	DRAWN BY: JLL	DATE: 1/17/22	JOB No.: 19179A	SHEET No.: 5 OF 13
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SEE SHEET 4 OF 13 FOR CONTINUATION

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# SOUTH SHREWSBURY RIVER

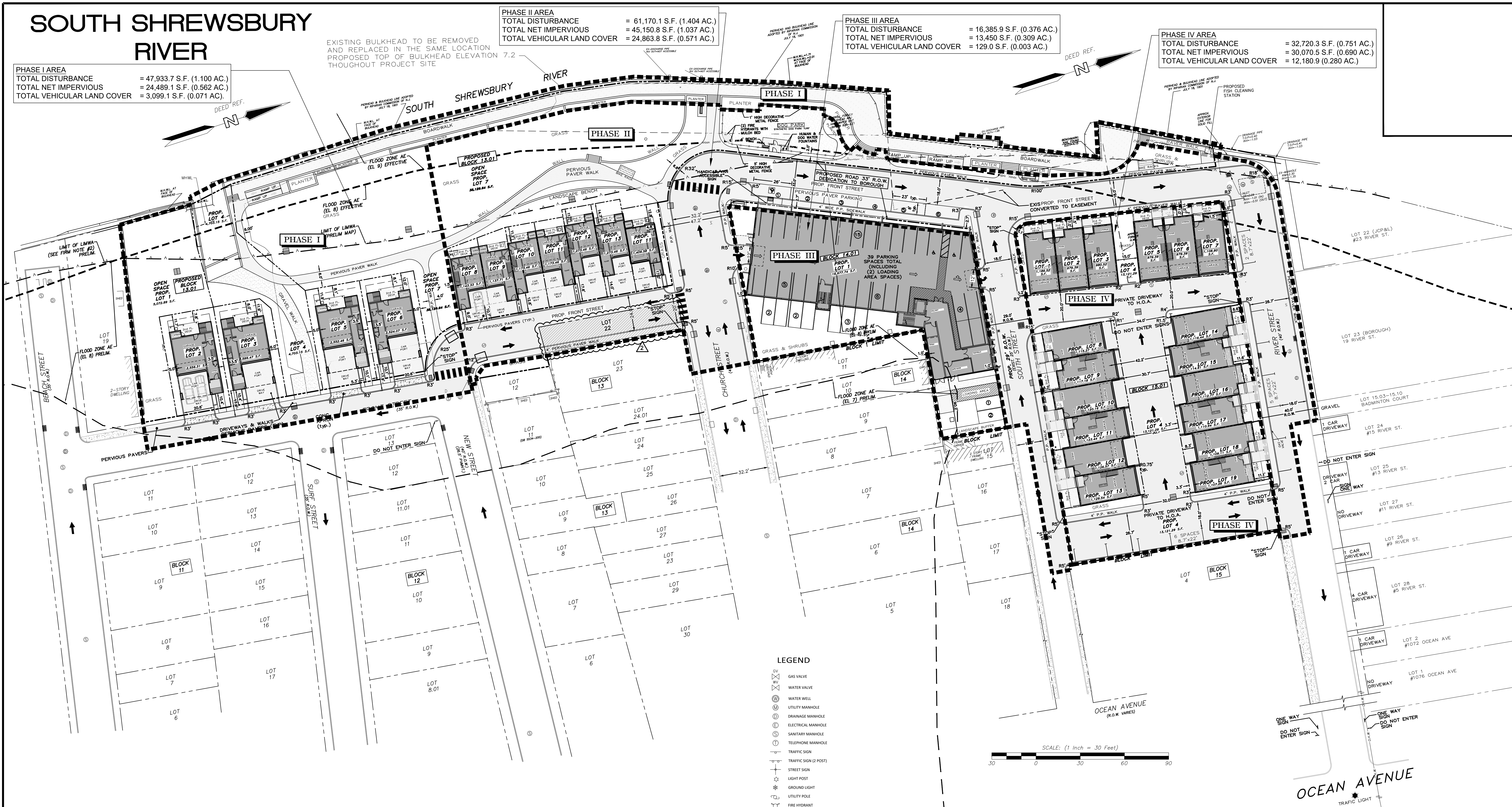
**PHASE I AREA**  
 TOTAL DISTURBANCE = 47,933.7 S.F. (1.100 AC.)  
 TOTAL NET IMPERVIOUS = 24,489.1 S.F. (0.562 AC.)  
 TOTAL VEHICULAR LAND COVER = 3,099.1 S.F. (0.071 AC.)

**PHASE II AREA**  
 TOTAL DISTURBANCE = 61,170.1 S.F. (1.404 AC.)  
 TOTAL NET IMPERVIOUS = 45,150.8 S.F. (1.037 AC.)  
 TOTAL VEHICULAR LAND COVER = 24,863.8 S.F. (0.571 AC.)

**PHASE III AREA**  
 TOTAL DISTURBANCE = 16,385.9 S.F. (0.376 AC.)  
 TOTAL NET IMPERVIOUS = 13,450 S.F. (0.309 AC.)  
 TOTAL VEHICULAR LAND COVER = 129.0 S.F. (0.003 AC.)

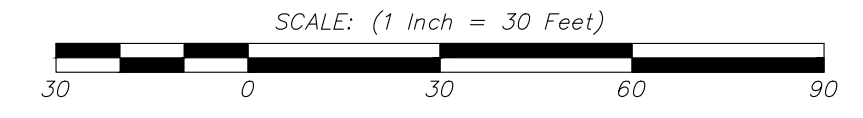
**PHASE IV AREA**  
 TOTAL DISTURBANCE = 32,720.3 S.F. (0.751 AC.)  
 TOTAL NET IMPERVIOUS = 30,070.5 S.F. (0.690 AC.)  
 TOTAL VEHICULAR LAND COVER = 12,180.9 (0.280 AC.)

EXISTING BULKHEAD TO BE REMOVED AND REPLACED IN THE SAME LOCATION PROPOSED TOP OF BULKHEAD ELEVATION 7.2 THROUGHTOUT PROJECT SITE



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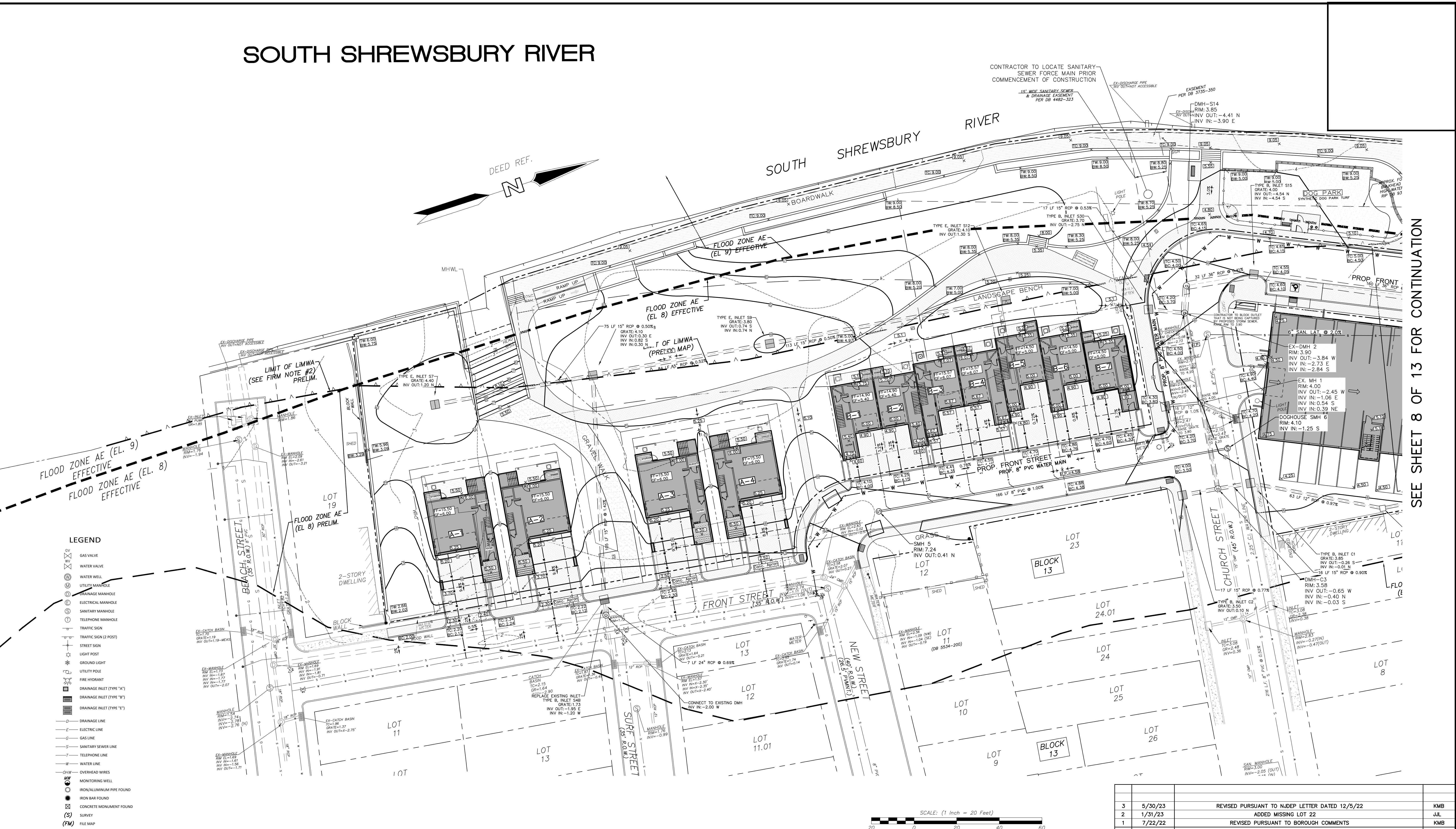
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 BLOCK 14 LOTS 12, 14  
 BLOCK 15 LOTS 5-12  
 BOROUGH OF SEA BRIGHT MONMOUTH COUNTY NEW JERSEY

**WH ENGINEERING**  
 CERT. OF AUTH. NO. 24GA28117300  
 257 MONMOUTH ROAD, BLDG. A, STE. 7, CARHURST, NJ 07735  
 PHONE: 732-229-1313  
 WWW.WHENGINEERING.COM

**OVERALL SITE/PHASING PLAN**  
 WALTER JOSEPH HOPKINSON  
 N.J. PROFESSIONAL ENGINEER, LIC. NO. 40673  
 Date: 2023.06.07

SCALE: 1" = 30'	DRAWN BY: JUL	DATE: 1/17/22	JOB NO.: 19179A	SHEET NO.: 6 OF 13
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# SOUTH SHREWSBURY RIVER



SEE SHEET 8 OF 13 FOR CONTINUATION

### LEGEND

- GAS VALVE
- WATER VALVE
- WATER WELL
- UTILITY MANHOLE
- DRAINAGE MANHOLE
- ELECTRICAL MANHOLE
- SANITARY MANHOLE
- TELEPHONE MANHOLE
- TRAFFIC SIGN
- TRAFFIC SIGN (2 POST)
- STREET SIGN
- LIGHT POST
- GROUND LIGHT
- UTILITY POLE
- FIRE HYDRANT
- DRAINAGE INLET (TYPE 'A')
- DRAINAGE INLET (TYPE 'B')
- DRAINAGE INLET (TYPE 'E')
- DRAINAGE LINE
- ELECTRIC LINE
- GAS LINE
- SANITARY SEWER LINE
- TELEPHONE LINE
- WATER LINE
- OVERHEAD WIRES
- MONITORING WELL
- IRON/ALUMINUM PIPE FOUND
- IRON BAR FOUND
- CONCRETE MONUMENT FOUND
- SURVEY
- FILE MAP
- GAS METER
- DEPRESSED CURB
- FLUSH CURB



NO.	DATE	DESCRIPTION	DRAWN BY
3	5/30/23	REVISED PURSUANT TO NJDEP LETTER DATED 12/5/22	KMB
2	1/31/23	ADDED MISSING LOT 22	JUL
1	7/22/22	REVISED PURSUANT TO BOROUGH COMMENTS	KMB

**PRELIMINARY MAJOR SUBDIVISION & SITE PLAN**  
 BLOCK 13 LOTS 13-18, 20, 21, 22  
 BLOCK 14 LOTS 12, 14  
 BLOCK 15 LOTS 5-12  
 BOROUGH OF SEA BRIGHT MONMOUTH COUNTY NEW JERSEY

**WH ENGINEERING**  
 CERT. OF AUTH. NO. 24GA28117300  
 257 MONMOUTH ROAD,  
 BLDG. A, STE. 7,  
 OAKHURST, NJ 07755  
 PHONE: 732-223-1313  
 WWW.WHENGINEERING.COM

**GRADING, DRAINAGE & UTILITY PLAN**

WALTER JOSEPH HOPKIN  
 N.J. PROFESSIONAL ENGINEER  
 No. 12106  
 Date: 2023.06.09  
 09:38:58-04

SCALE: 1" = 20'  
 DRAWN BY: JUL  
 DATE: 1/17/22  
 JOB NO.: 19179A  
 SHEET NO.: 7 OF 13

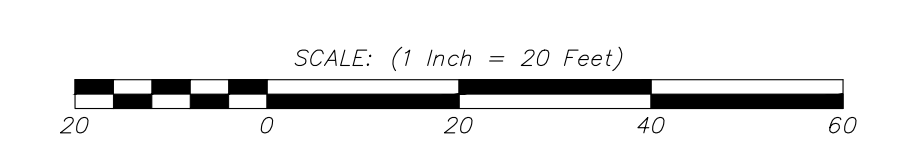
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# SOUTH SHREWSBURY RIVER

SEE SHEET 7 OF 13 FOR CONTINUATION



- LEGEND**
- ⊗ GAS VALVE
  - ⊕ WATER VALVE
  - ⊙ WATER WELL
  - ⊕ UTILITY MANHOLE
  - ⊙ DRAINAGE MANHOLE
  - ⊕ ELECTRICAL MANHOLE
  - ⊙ SANITARY MANHOLE
  - ⊕ TELEPHONE MANHOLE
  - ⊙ TRAFFIC SIGN
  - ⊕ TRAFFIC SIGN (2 POST)
  - ⊙ STREET SIGN
  - ⊕ LIGHT POST
  - ⊙ GROUND LIGHT
  - ⊕ UTILITY POLE
  - ⊙ FIRE HYDRANT
  - ⊕ DRAINAGE INLET (TYPE "A")
  - ⊙ DRAINAGE INLET (TYPE "B")
  - ⊕ DRAINAGE INLET (TYPE "C")
  - ⊙ DRAINAGE LINE
  - ⊕ ELECTRIC LINE
  - ⊙ GAS LINE
  - ⊕ SANITARY SEWER LINE
  - ⊙ TELEPHONE LINE
  - ⊕ WATER LINE
  - ⊙ OVERHEAD WIRES
  - ⊕ MONITORING WELL
  - ⊙ IRON/ALUMINUM PIPE FOUND
  - ⊕ IRON BAR FOUND
  - ⊙ CONCRETE MONUMENT FOUND
  - (S) SURVEY
  - (FM) FILE MAP
  - ⊕ GAS METER
  - D.C. DEPRESSED CURB
  - F.C. FLUSH CURB



NO.	DATE	DESCRIPTION	DRAWN BY
3	5/30/23	REVISED PURSUANT TO NJDEP LETTER DATED 12/5/22	KMB
2	1/31/23	ADDED MISSING LOT 22	JUL
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**PRELIMINARY MAJOR SUBDIVISION & SITE PLAN**  
 BLOCK 13 LOTS 13-18, 20, 21, 22  
 BLOCK 14 LOTS 12, 14  
 BLOCK 15 LOTS 5-12  
 BOROUGH OF SEA BRIGHT MONMOUTH COUNTY NEW JERSEY

**WH ENGINEERING**  
 CERT. OF AUTH. NO. 24GA28117300  
 257 MONMOUTH ROAD,  
 BLDG. A, STE. 7,  
 OAKHURST, NJ 07755  
 PHONE: 732-223-1313  
 WWW.WHENGINEERING.COM

**GRADING, DRAINAGE & UTILITY PLAN**  
 WALTER JOSEPH HOPKINS  
 N.J. PROFESSIONAL ENGINEER, LIC. NO. 40675  
 Date: 2023.06.07

SCALE: 1" = 20'	DRAWN BY: JUL	DATE: 1/17/22	JOB NO.: 19179A	SHEET NO.: 8 OF 13
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Date: 2023.06.07  
 09:39:07 04/00